



**AGENDA – REGULAR MEETING  
6:00 p.m., September 19, 2022**

## **Planning Commission**

- 1. CALL TO ORDER**
- 2. ROLL CALL** (Quorum is 4)
- 3. APPROVAL OF AGENDA** (Unanimous additions required)
- 4. APPROVAL OF MINUTES**
  - A. Planning Commission Minutes of June 20, 2022
- 5. PUBLIC COMMENTS**
- 6. PUBLIC HEARINGS**
  - A. Site Plan Application for 600 Central Ave
- 7. REPORTS OR COMMENTS: Staff, Chair, & Commission Members**
- 8. ADJOURNMENT**

**OSSEO PLANNING COMMISSION MINUTES  
REGULAR MEETING  
June 20, 2022**

1. CALL TO ORDER

The regular meeting of the Osseo Planning Commission was called to order by Chair Mueller at 6:00 pm, Monday, June 20, 2022.

2. ROLL CALL

Present: Commission members Dee Bonn, Kenny Nelson, Michael Olkives, Kerstin Schulz, and Chair Ashlee Mueller

Absent: Commission members Deanna Burke and Chris Carrigan.

Others present: Community Management Coordinator Joe Amerman

3. APPROVAL OF AGENDA

**A motion was made by Bonn, seconded by Schulz, to approve the Agenda as presented. The motion carried 5-0.**

4. APPROVAL OF MINUTES

A. Approve April 18, 2022, Minutes

**A motion was made by Schulz, seconded by Olkives, to approve the April 18, 2022, minutes. The motion carried 5-0.**

5. PUBLIC COMMENTS

Chair Mueller advised this is the time for public comments for items that are not on the agenda for tonight's meeting. There were no comments from the public.

6. PUBLIC HEARINGS

A. District Regulation Change Application

Amerman stated Vinay Mehta, owner of 204 Central Ave, is applying to have 'Assembly Space' added as a use in the Central Business District. 'Assembly Space' being defined as a 'building used in part or in whole for the gathering together of persons for such purposes as deliberation, entertainment, amusement, or awaiting transport'. While this particular application is motivated by an empty 1,200 sq ft space at 204 Central that the applicant would like to use as a religious gathering space, approval of 'assembly space' as a use would allow for a broader range of potential gatherings. The intent of the Central Business District is to "accommodate central business type uses that include joint-use parking areas and business uses primarily oriented to the walking public". While 'Assembly Space' does not seem to be a good fit with that stated intent, there are number of uses listed as permitted or conditional uses which could be considered as precedents. These include:

- Public and semi-public facilities serving all or portions of the city, such as municipal offices, library, and post office.
- Essential service structures.
- Private institutions (e.g., convalescent housing, infirmaries, nurseries, and schools).

Amerman reported though this is the first instance of an owner-initiated change to the zoning ordinance, it must pass the same kind of informal tests that any city-initiated change would. Namely, does the proposed use fit with the character of the district. Will it create hardships for existing businesses and uses. To answer these the city often relies on guidance laid out in the city's 2040 Comp Plan, but on this particular use there is little relevant information contained there. If the Planning Commission does choose to recommend approval, it will have to make a further distinction, whether to recommend inclusion as a permitted use or a conditional use.

**A motion was made by Olkives, seconded by Bonn, to open the Public Hearing at 6:11 p.m. The motion carried 5-0.**

Vinay Mehta, 204 Central Avenue property owner, stated he was the applicant. He explained he was available for comments or questions from the Commission.

**A motion was made by Schulz, seconded by Bonn, to close the public hearing at 6:13 p.m. The motion carried 5-0.**

Olkives asked if this change would apply to the entire Central Business District. Amerman stated this would be the case, noting this would be a conditional use and would require review and approval from the Planning Commission and City Council.

Mueller questioned if this would impact the amount of taxes paid for properties that were changed to 'Assembly Space'. Amerman indicated he did reach out to the County Assessor's office and he had not received a response prior to the meeting. He anticipated there would be different tax implications if a commercial property were to be turned into a church.

Nelson inquired if an infirmary was a hospital. Amerman reported this was the case.

Nelson asked if an 'Assembly Space' CUP was granted to a multi-tenant building, could all of the spaces become churches. Amerman explained the conditional use would apply to everyone that occupies the property. He anticipated that not every space would be able to comply with the City's fire regulations and build codes in order to be considered a church.

Schulz questioned if City Hall was within the Central Business District. Amerman reported City Hall was considered a Public Institution and gatherings were allowed within the community room as a conditional use.

Schulz inquired why a decision was being made now when things have been different in the past. Amerman indicated these were unpermitted uses in the space. He stated there were uses that predate the adoption of the current zoning code. He indicated the 'Assembly Space' was not a use that was currently allowed in the Central Business District.

Nelson asked if the city approved a gathering space for the brewery. Amerman discussed the approvals the brewery received, which was for a brewery and restaurant and noted special events would require a special event permit.

**A motion was made by Nelson, seconded by Schulz, to recommend the City Council deny 'Assembly Space' as a permitted or conditional use in the Central Business District.**

Timothy Stone, architect for Vinay Mehta, commented even though there were separate tenants in this building, those other spaces would have to comply with fire separation and other building code requirements in order to be used as 'Assembly Space'. He reported the requested 'Assembly Space' was approximately 1,500 square feet in size. He stated he believed the proposed gathering space was an essential space for the current residents of Osseo.

Bonn asked if the gathering space was on the lower level of the building. Amerman stated this was the case. Mr. Mehta explained the gathering space was at the back of the building and would be entered from the alley.

Olkives questioned how many people would be using the 'Assembly Space' at any given time. Mr. Mehta stated up to 25 people could use the gathering space. He reported he had five parking spaces in the rear plus public parking with numerous spaces. Amerman added that if the space were used for a church all off-street parking requirements in City Code would have to be met.

Schulz clarified for the record that the matter being considered by the Commission this evening was a district regulation change and not a conditional use permit.

Bonn indicated this business was a restaurant and she did not understand why people could not gather in the space.

Olkives stated he was also confused and asked if there were any other permits that could be requested to allow gatherings. Amerman stated churches were a different type of activity than a restaurant and therefore had different city code requirements.

Olkives questioned if the Masonic Lodge was allowed. Amerman reported the Masonic Lodge and Meditation Center predates the current zoning code.

Olkives stated he was concerned with what could happen in the future if this were approved and how it could change the Central Business District. He anticipated this change does not align with the Central Business District.

Nelson indicated there were no other businesses requesting gathering space in the Central Business District. He viewed this request as someone wanting to put a church in the Central Business District. He believed the Central Business District should remain local restaurants and shops. He reported Osseo was a small community and over one-fourth of the properties in the City were already non-tax paying.

Mr. Stone reported the entire building would still be taxed because the owner who owns the building leases out the space.

Nelson commented if a conditional use permit were granted, the entire building could be sold and turned into a church. Mr. Stone explained the way the building sits, it would be non-conforming for a church, along with the on street parking. He indicated this property would not be feasible for a church.

Nelson stated it was still his opinion that this change would open a door that he believed should not be opened.

Schulz agreed with Commissioner Nelson that the Central Business District should remain local businesses and restaurants. She noted there were buildings within the Central Business District that were large enough they could be converted into churches. For this reason, she supported denial of the request.

Mueller questioned if any of the businesses within the Central Business District provided comments to staff regarding the proposed district regulation change. Amerman stated he received no comments.

Olkives asked if letters were sent to surrounding businesses. Amerman stated the City sent out 140 letters to businesses within the Central Business District. He indicated these letters were sent on June 9, 2022.

Olkives indicated whether the Commission supports or denies the request, it would still move onto the City Council. Amerman reported this was the case.

Mueller inquired if there was another way to go about addressing just this building versus the entire Central Business District. Amerman commented after having conversations with the City Attorney it was determined none of the other city codes address this use.

Nelson stated he has given this application a lot of thought and it was hard for him to not support the request. He believed that this request was not in the best interest of the City of Osseo.

Bonn questioned if the site was used as a gathering space and not a church would this be allowed. Mr. Mehta reported the people using the space were not a church, but rather referred to themselves as a life sanctuary.

Schulz commented she was not against what was being done in the building. She indicated her concerns were with changing the entire Central Business District. She clarified that the letters that were sent out were mailed to property owners and not necessarily to the businesses. Amerman stated this was correct, noting the property list was taken from Hennepin County.

Nelson discussed how the Supreme Court was moving on religious cases. He stated he would hate to have the City facing religious discrimination cases in the future and feared this may happen if the district regulation change were approved.

Mueller explained she agreed with many of the comments made by Commissioner Nelson and stated the Commission has to consider Osseo as a whole and not just a single business with this request. She indicated she wanted all of the businesses and restaurants in the Central Business District to remain in place.

Bonn asked if the gatherings could be held if Mr. Mehta were to get back into the restaurant business. Amerman reported this would be allowed noting the property was zoned for a restaurant, however he cautioned the Commission from end run the zoning rules.

Mr. Stone explained this was the reason Mr. Mehta reached out to the City and filled out an application for the district regulation change. He stated the request was straight forward and not disingenuous.

Nelson indicated he feared if this change were approved, anti-semitic or other prejudiced hate groups would then be able to gather in the Central Business District. He thought it better for the City to not move in this direction.

Mr. Mehta reported again that the space was not being used as a church, but rather as a life sanctuary. He indicated he does not determine what clothing they wear.

Olkives called the question.

**The motion carried 4-1 (Bonn opposed).**

7. REPORTS OR COMMENTS: Staff, Chair & Commission Members

Amerman reported youth sports were going well this summer along with the Movies and Music in the Park on Tuesdays.

Bonn explained The Yellow Tree Theater was also hosting events every other Thursday at Boerboom Park and invited the public to participate. She noted the first event would be held on Thursday, June 23.

Nelson stated at the last Planning Commission meeting a business wrote in and requested the City invest in a parking ramp. He noted he had discussions with staff on this and was told a parking ramp would cost \$100,000 per space.

8. ADJOURNMENT

**A motion was made by Schulz, seconded by Bonn, to adjourn the meeting at 7:01 pm.  
The motion carried 5-0.**

Respectfully submitted,

Heidi Guenther  
*Minute Maker Secretarial*



## Osseo Planning Commission Meeting Item

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**Agenda Item:** Site and Building Plan Application for 600-632 Central Avenue

**Meeting Date:** September 19, 2022

**Prepared by:** Joe Amerman, Community Management Coordinator

**Attachments:** Site and Building Plan Approval Application  
Site Plans  
Elevations  
Public Notice Mailing List Addresses  
Public Notice Mailing List Map

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### **Policy Consideration:**

The owner of the commercial building at 332 Central Avenue is submitting a Site and Building Plan Approval application.

### **Background:**

Hall Sweeney Properties is proposing to combine five properties into a single lot and redevelopment the site into a 143-unit apartment building at 600-632 Central Avenue. Currently there are 5 lots with uses including several commercial buildings, single family home, and a vacant lot. The redeveloped property will total 1.25 acres.

### Zoning

The property is zoned Edge Mixed Use (EMX) (20-40 units per acre). Multifamily residential is a permitted use.

Properties to the south, east, and west are also zoned EMX and located within Osseo. Existing land uses abutting the east of the site are multifamily with a one additional single-family home. An assisted living facility, Benedictine Living Community, is located to the west across Central Avenue. A mixed-use building, commercial on first level with residential above, at 521 Central Ave, is located to the south across 6<sup>th</sup> Street. A church within Brooklyn Park city limits is to the north, across County Road 30 (93<sup>rd</sup> Avenue)

### Comprehensive Plan

The property is guided Edge Mixed Use (20-40 units per acre); multifamily residential is a designated use.

The 2040 Comprehensive Plan highlights the subject property as a priority redevelopment site by the Osseo EDA.

### Density

One of the issues raised by the project is site density. The Comprehensive Plan and City Code designate the site having a density range of 20-40 units per acre. The project has 143 units on a combined 1.25-acre site, meaning the density is 114.4 units/ acre. There is an exception found within both documents relating to an increase in project density. Specifically, the Code states: “ **higher densities may be considered when, in the discretion of the City Council, the development proposal provides a compelling public benefit and/or advances the land use or housing**

**objectives of the comprehensive plan.** “ The language in the comprehensive plan is similar. Staff has included the following land use and housing objectives taken from the comprehensive plan bolster the reasons for an increase in site density:

- Land Use Objective 2: **Encourages redevelopment** that brings more residents and activity to downtown through **higher residential densities and increased lot coverages**.
- Land Use Objective 7: Create a downtown area that provides a healthy and compatible mix of uses, including retail services, institutional, **residential**, office, and open space.
- Land Use Objective 9: Promote the development of a wide range of **new housing types** that meet the community’s lifecycle housing needs.
- Housing Objective 24: **Support housing redevelopment projects that contribute to providing housing for a wide range of household types**, including larger families, younger families, older residents, and single person households, both ownership and rental.
- Housing Objective 26: Encourage enclosed parking that is **incorporated into the residential building** rather than separate parking structure.

The proposed plan would meet requirements of the City Code and Comprehensive Plan if the City Council makes a finding that the increased density provides a compelling public benefit and advances land use and housing objectives found within the adopted comprehensive plan.

#### Lot Standards

The proposed development has a 26,558 SF building footprint with 106,232 SF of gross floor area. The following table compares the EMX ordinance development standards versus the proposal.

Lot Standards	EMX District	Proposed
Height (max.)	65 FT	47 FT, 4 stories
Lot Area (min.)	7,200 SF	54,802 SF
Lot Width (min.)	50 FT	314 FT
Front Yard Setback	10 FT max.	8 FT (Central Ave)
Corner Side Yard Setback	10 FT max.	10 FT, 2 IN*(County Road 30) 6 FT (6 <sup>th</sup> Street)
Rear Yard Setback	None	15.5 FT
Parking Setback from ROW & Residential Uses	10 FT	18.6 FT (ROW) 15.4 FT (Residential to east)
Impervious Surface	None	80%

The proposed plan meets all lot standards. Based upon the plans submitted the corner side yard setback along County Road 30 is very slightly over the 10’ maximum building setback (2 inches). This slight increase is acceptable due to its location adjacent to a busy county road. There is no special setback requirement for a multifamily building from adjacent residential uses.

#### Parking

City Code normally requires 1.75 parking spaces per dwelling unit for multifamily buildings. This means in traditional multifamily buildings 250 parking stalls would be required. However, the EMX district provides a parking exception where only 1 parking space is needed per unit. There are 143 units, therefore 143 parking stalls are required. Plans propose 154 underground stalls and 47 surface stalls for a total of 201 stalls. Numerically, the development satisfies parking requirements.



However, dimensional requirements are not met. The ordinance requires parking stalls to be 9'x20' and a total of 300 sq ft of storage and maneuvering area, including access drives. The surface parking lot has stalls that appear to be 9'x18' or 8' x 16' with 24' access aisles. It appears that within the parking ramp the parking stalls are the same size as in the surface lot, with the exception that the applicant is proposing some 30.75' in length tandem stalls. These would be very undersized for parking of two vehicles. The applicant should provide more clear information about parking stall size and how they intend to have circulation in all parking areas, particularly in the parking ramp.

Parking must be located to the rear of the building and should not be visible from public right of way per City Code. The proposed plan shows surface parking to the rear of the building but can still be viewed from 6<sup>th</sup> Street. It would be difficult to not have parking visible from any public view given the site fronts public right of way on three sides. Screening from adjacent residential uses to the east could be improved. The proposed landscaping plan provides for a berm with shrubs and a few trees to buffer the parking lot with the rear property line. Staff suggests the developer adds additional, more significant vegetation along the bermed area.

City Code requires bicycle parking of at 1 space per 4 units and 50% of them shall be covered or enclosed. At least 36 bicycle spaces are needed. Bicycle parking is proposed on the south side of the building. Additional information is needed as plans do not disclose the number of bicycle spaces in total on site.

#### Access

Vehicular access for the site is from a single access point located off of 6<sup>th</sup> Street. The existing survey shows a small access apron off County Road 30 on the northeast portion of the site. This apron will be removed and no future access is allowed from County Road 30. The proposed access is roughly 80 feet from the adjacent apartment building access further east on 6<sup>th</sup> Street.

#### Landscaping and Green Space

Tree replacement is needed at 50% per caliper inches of significant trees removed. 164 caliper inches are proposed to be removed therefore requiring 82 caliper inches to be replaced. The proposed landscaping plan shows 50 significant trees to be planted with a minimum size of 2.5 caliper inches per tree. Total caliper inches being replaced is 125 which exceeds the requirement.

The site will have landscaped buffers between sidewalks and the building. There will also be a landscaped berm separating the property from the residential uses to the east. The proposed landscaping plan meets ordinance requirements, however; as mentioned the parking lot screening to the east and south should be enhanced.

#### Architecture

The proposed building will be 4-stories with the top floor being recessed along Central Avenue and around the corner to 6<sup>th</sup> Avenue. This will reduce the "canyon" effect that a 4 story building could create if located close to the road for its entire height. The building is not recessed in the northwest corner, adjacent to 93<sup>rd</sup> street or in the east, where the building is not immediately adjacent to existing developed properties. There are several adjacent multistory buildings generally consistent with the proposed building from a height perspective and also have front façade undulation, so the Central Avenue facades have variation and visual interest. There appears to be no exterior material requirements for multifamily buildings. Exterior materials proposed to be used include a mix of aluminum, brick masonry, metal siding, cast stone, wood printed metal panels, fiber cement panels, and composite windows. Colors include a mix of brown, tans, and beige. These materials would be acceptable per City Code for new developments in commercial areas.

#### Utilities

The City engineer is working with the applicants representatives to modify the plans to address utility comments and bring the proposal into compliance with the regulations and design practices. It is not anticipated that any of the issues raised will significantly affect the project or require significant changes to

the site plan.

#### Trash Enclosure

Trash area will be enclosed between the common area and parking lot where it will be accessible for pickup from the parking lot. Trash plan meets requirements.

#### Signage

No new signage is currently specified. When future signs are added, the property owner must apply for and receive necessary permits.

#### Lighting

Exterior lighting shall not be directed upon adjacent land or the public right-of-way. The proposed lighting plan meets this requirement.

#### Recommended Conditions

1. The improvements shall match the site plan submitted for approval by the City Council;
2. Any necessary payment for SAC charges must be made prior to issuance of any building permits;
3. The applicant shall obtain all necessary building and sign permits and pay all fees related to the proposed improvements;
4. Weeds and other vegetation shall be maintained at all times in accordance with Chapter 93.38 of the City Code;
5. All trash shall be stored within a properly screened enclosure.
6. The applicant shall revise the landscape plan to increase the amount of vegetation on the eastern berm for parking lot screening purposes.
7. The applicant shall provide updated information regarding the amount of bicycle parking provided on site; both outside and within the parking garage and shall comply with the ordinance standards.
8. The applicant shall provide detailed information about the parking stall sizing and how circulation will occur within the surface lot and parking ramp. Turning radii for large and small passenger vehicles should be examined.
9. The applicant shall revise their utility plans to comply with the City Engineer comments and City regulations.
10. The site plan will be valid for one year following the date of approval unless work begins toward completion within one year or the approval is renewed for a period of one year by the City Council.

#### **Next Step**

The Planning Commission may choose to make the following recommendation to the City Council:

1. Approve the site and building plan, subject to the listed conditions of approval;
2. Approve the site and building plan, with noted changes/as amended;
3. Deny the site and building plan; or
4. Table action on this item for more information.

#### **Next Step:**

This item will be placed on a subsequent City Council meeting agenda for consideration and approval.



## Application For: Site and Building Plan Review

**415 Central Avenue, Osseo, MN 55369**  
**Phone 763.425.2624**  
**Fax 763.425.1111**

### Property Information:

Site address: 600, 608, 616, 624 and 632 Central Avenue, Osseo, Minnesota 55369

Property identification number: 1811921220109, 1811921220110, 1811921220111, 1811921220112, and 1811921220113

Property legal description: Lot: 

001
002 004
003 005

 Block: 002 Tract/Addition: Osseo

Property type (check one): Abstract: ☒ Torrens: ☐

Description of request: Requested review of proposed new apartment community for approvals

Reason for request: Planning to construct new apartment community

### Applicant Information:

Name: Hall Sweeney Properties LLC Daytime phone: (612) 274-3839

Address: 4500 Drexel Avenue, Minneapolis, MN 55424 Email Address: sean@hallsweeney.com

*Applicant agrees to reimburse the City of all legal and/or engineering costs incurred by the City, provide 15 copies (11x17) of site plan/drawings/survey for submittal, and pay any additional water and/or sewer assessments that may be due pending a check of City records.*

*If request is granted, applicant agrees to proceed with the actual construction in accordance with the plans here with submitted within six (6) from date of filing this application and will complete construction within one (1) year of said date; and is able from a financial, legal, and physical basis to do so.*

Signature: Sean Sweeney Date: 8-16-22

**Property Owner Information:**

Name: Rush Creek Meadows, LLC  
Rains Properties, LLC Daytime phone: 612-599-0372  
Address: 624 Central Ave Osseo MN 55369 Email Address: Chris@chrisrains.com

Signature:  Rush Creek Meadows, LLC - Chris Rains Chief Manager 08/17/22  
 Rains Properties, LLC Chris Rains Chief Manager 08/17/22 Date: \_\_\_\_\_

*The City of Osseo requires that the Property Owner sign and date all land use applications. Applications will not be accepted unless the Property Owner has signed the application.*

*Any email address provided may be considered public data pursuant to data practices law and the City will comply with all applicable laws if the information is subject to a data request.*

.....  
**For City use only:**

Receipt number: \_\_\_\_\_ Date received: \_\_\_\_\_ (**\$500 Application Fee**)

Any other fees? \_\_\_\_\_ Received by: \_\_\_\_\_

Notice to press date: \_\_\_\_\_ Press publication date: \_\_\_\_\_

Scheduled Planning Commission date: \_\_\_\_\_

Scheduled City Council date: \_\_\_\_\_



600-632 CENTRAL AVENUE  
OSSEO, MN

SITE AND BUILDING PLAN REVIEW  
MULTIFAMILY RESIDENTIAL

8.18.2022





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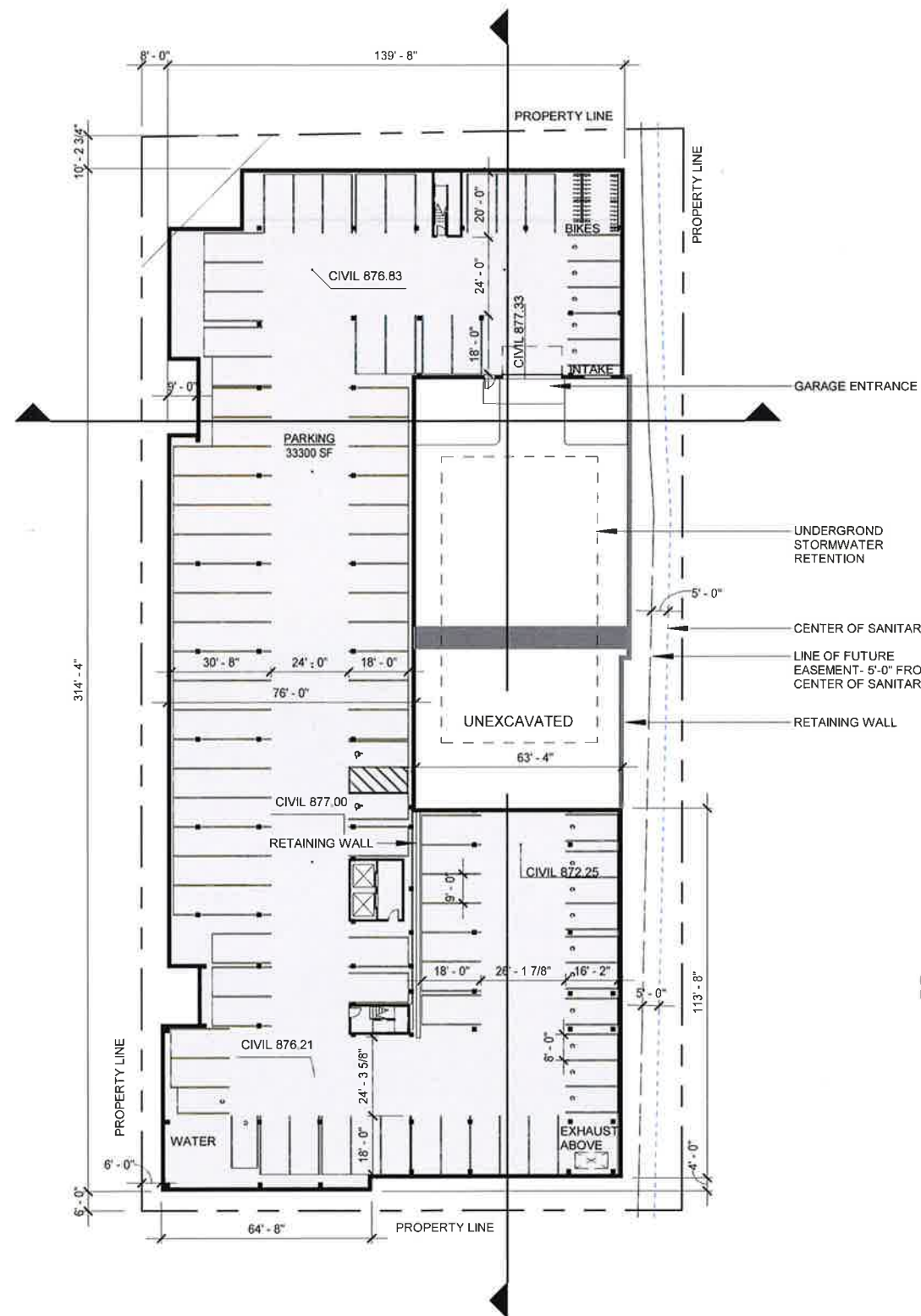
©











**600 - 632 CENTRAL AVENUE, OSSEO MN**  
PROPERTY AREA 54802 SF  
ZONED: EDGE MIXED USE

BUILDING TYPE VA  
OCCUPANCY R-2

TOTAL BUILDING AREAS

LEVEL	AREA
LOWER LEVEL	33,300 SF
LEVEL 1	26,200 SF
LEVEL 2	30,010 SF
LEVEL 3	30,020 SF
LEVEL 4	28,260 SF
GRAND TOTAL	147,790 SF

## UNIT TYPES

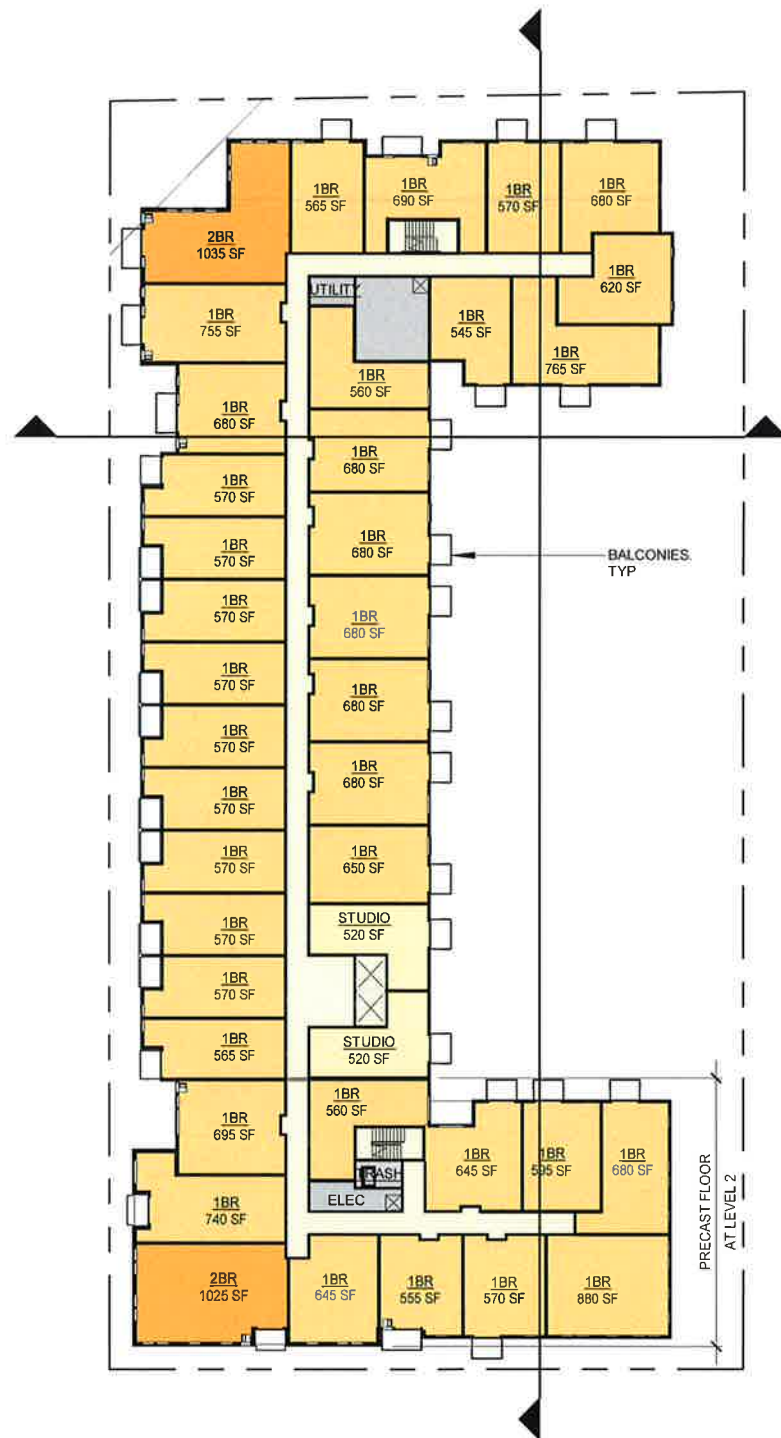
UNIT TYPE	#	%	AREA*
1BR	124	87%	78180 SF
2BR	11	8%	10845 SF
STUDIO	8	6%	4100 SF
UNITS TOTAL	143		93125 SF

## PARKING TYPES

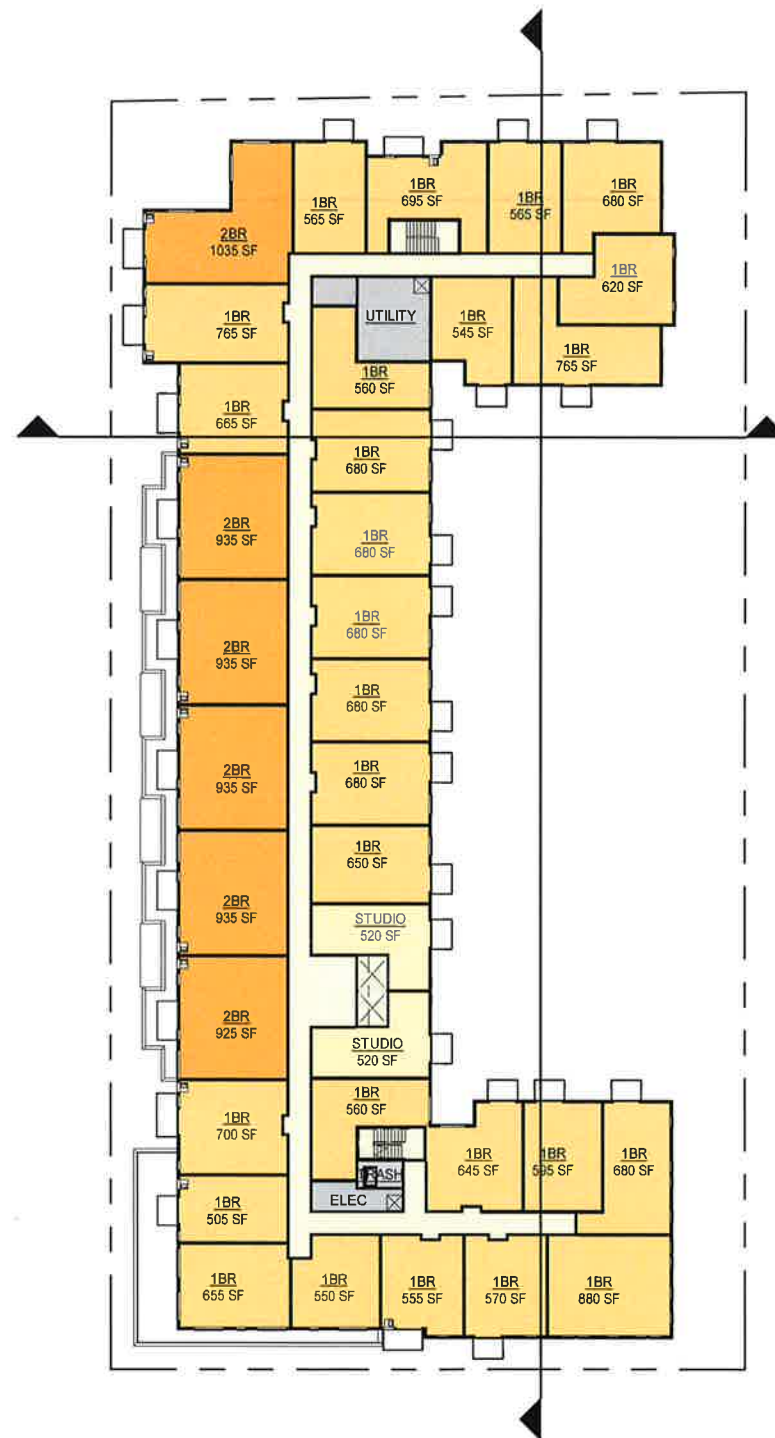
<b>PARKING</b>	<b>%</b>	<b>#</b>
ACCESSIBLE	2%	3
COMPACT	32%	44
STANDARD	54%	75
TANDEM	12%	16
<b>TOTAL PARKING</b>		<b>138</b>

COUTING TANDEM AS TWO STALLS 154

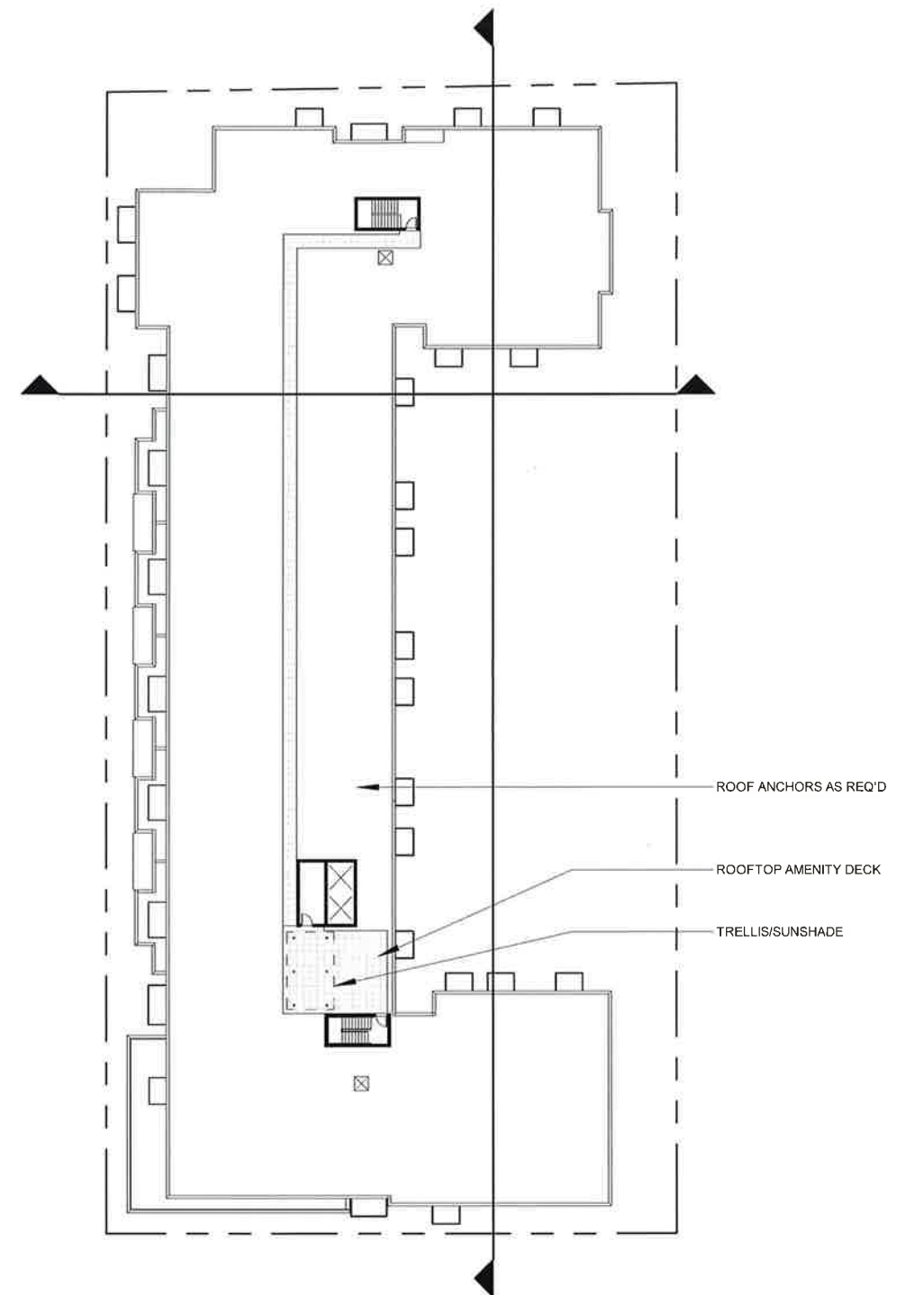




1 FLOOR PLAN - LEVELS 2-3  
1" = 50'-0"



2 FLOOR PLAN - LEVEL 4  
1" = 50'-0"



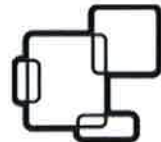
3 ROOF PLAN  
1" = 50'-0"



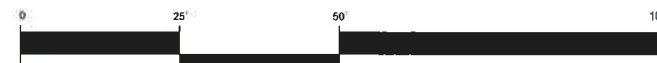
1 | NORTH ELEVATION  
1" = 30'-0"



2 | WEST ELEVATION  
1" = 30'-0"



Collage | architects



SITE AND BUILDING PLAN REVIEW | ELEVATIONS

CENTRAL AVENUE - OSSEO | A2.0

8.18.2022





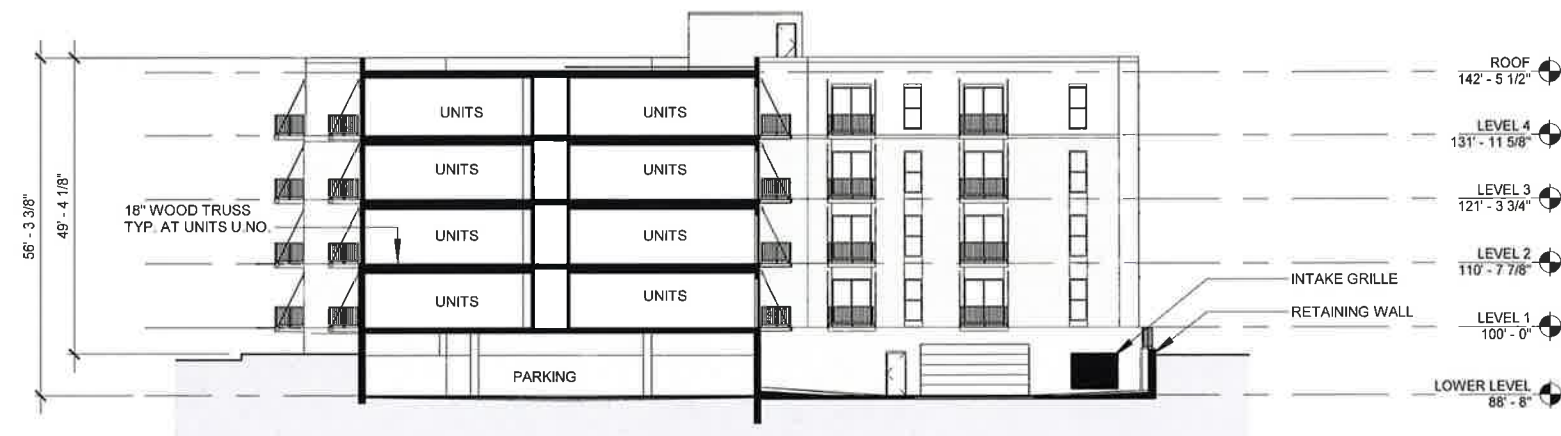
1 SOUTH ELEVATION  
1" = 30'-0"



2 EAST ELEVATION  
1" = 30'-0"



1 | **BUILDING SECTION AT SLOPED PARKING - LOOKING WEST**  
1/32" = 1'-0"

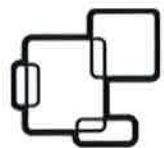


2 | **BUILDING CROSS SECTION - LOOKING NORTH**  
1/32" = 1'-0"





SOUTHWEST CORNER



Collage | architects



SITE AND BUILDING PLAN REVIEW | RENDERING

CENTRAL AVENUE - OSSEO | A4.0

6.18.2022





NEIGHBORHOOD CONTEXT ALONG CENTRAL AVENUE





WEST ELEVATION ALONG CENTRAL AVENUE



ALTANS/NSPS LAND TITLE SURVEY FOR:  
Hall Sweeney Properties, LLC

LEGAL DESCRIPTION:

- Parcel 1 (600 Central Avenue)  
Lot 1, Block 2, Osseo, according to the recorded plat thereof, Hennepin County, Minnesota, (Abstract Property)  
Parcel 2 (608 Central Avenue)  
Lot 2, Block 2, Village of Osseo, according to the recorded plat thereof, Hennepin County, Minnesota, (Abstract Property)  
Parcel 3 (616 Central Avenue)  
Lot 3, Block 2, Osseo, according to the recorded plat thereof, Hennepin County, Minnesota, (Abstract Property)  
Parcel 4 (624 Central Avenue)  
Lot 4, Block 2, Osseo, according to the recorded plat thereof, Hennepin County, Minnesota, (Abstract Property)  
Parcel 5 (632 Central Avenue)  
Lot 5, Block 2, Osseo, according to the recorded plat thereof, Hennepin County, Minnesota, (Abstract Property)

GENERAL SURVEY NOTES:

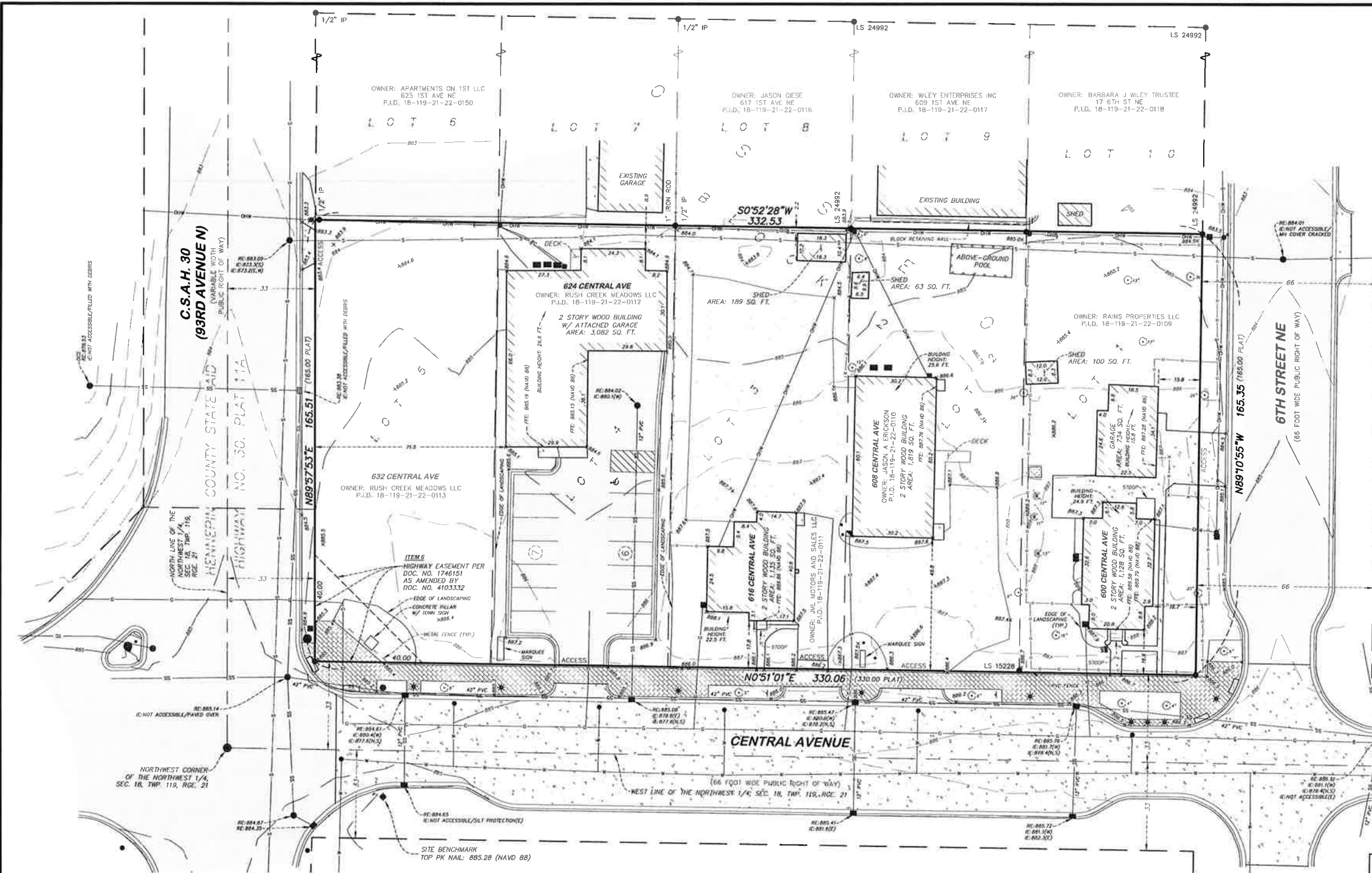
- The orientation of this bearing system is based on the Hennepin County coordinate grid (NAD 83-2011 Adj.).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by Guaranty Commercial Title, Inc. as issuing agent for Old Republic National Title Insurance Company, Commitment No. 66500 (Supplemental No. 1) dated November 4, 2021.
- The surveyed property has direct access to Central Avenue and 6th Street NE, both public right of ways.
- No evidence of cemeteries, burial grounds or gravesites was observed in the process of conducting the fieldwork.

OPTIONAL TABLE A ITEMS:

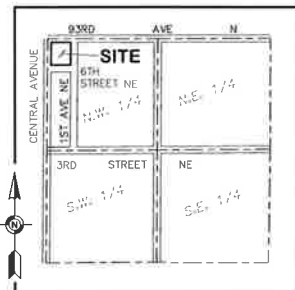
- Monuments have been placed at all major corners of the surveyed property described herein, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner.
- The addresses of the properties described herein are 600, 608, 616, 624 and 632 Central Avenue, Osseo, MN 55369.
- The property described herein lies within Flood Zone X (Areas determined to be outside the 0.2% annual chance flood plain) per Federal Insurance Rate Map No. 27053C 0182 F, dated November 4, 2016.
- The total area of the property described herein is 54,802 square feet or 1.25808 acres. The area of the property herein described less areas used for right-of-way purposes is 54,002 square feet or 1.23972 acres.
- The contours depicted herein are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.  
SITE BENCHMARK: Top of PK Nail west of northwesterly corner of surveyed property.  
Elevation = 885.28 feet (NAVD 88)
- No zoning report or letter was received from the insurer pursuant to Optional Table A Item 6(a), as set forth in the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys.
- No zoning report or letter was received from the insurer pursuant to Optional Table A Item 6(b), as set forth in the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys.
- Exterior building dimensions are depicted herein.
- The exterior building footprint areas at ground level are depicted herein.
- The measured building heights are depicted herein.
- Substantial features observed in the process of conducting the fieldwork are depicted herein.
- As of the date of this survey the property described herein contains a total of 18 parking spaces of which 13 are standard spaces, 1 is a handicapped space and 4 spaces are contained in garages.
- Existing utilities, services and underground structures shown herein were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Gopher State One Call, per Ticket No. 221792295. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- The names of adjoining owners according to current tax records are depicted herein.
- As of the date of this survey there is no observable evidence of current earth moving work, building construction or building additions on the property described herein.
- The surveyor is unaware of any completed or proposed changes in street right-of-way lines. As of the date of this survey there is no observable evidence of recent street or sidewalk construction or repairs that affect the property described herein.
- There were no plottable offsite easements or servitudes disclosed in documents provided to the surveyor to be depicted herein.

SURVEY ITEMS PER SCHEDULE B:

- ITEM 6. Easement for highway purposes acquired by State of Minnesota over the Land, together with the right to construct and maintain temporary snow fences on lands adjacent thereto, as evidenced by Final Certificate, recorded in Book 322 of Misc., at Page 436, Document No. 1746151, (as to Parcel 5) Amended Final Certificate filed September 4, 1974, as Document No. 4103332. Turnback deed in favor of City of Osseo was filed November 15, 1994, as Document No. 6364805. City of Osseo then conveys this land to City of Osseo Economic Development Authority by Quill Claim Deed filed April 14, 2000, as Document No. 7285413.  
Said easement affects the surveyed property and is depicted herein.



SECTION 18, T 119 N, R 21 W



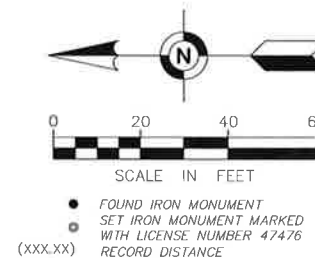
VICINITY MAP  
NO SCALE

LEGEND:

- |   |                   |   |                       |
|---|-------------------|---|-----------------------|
| ⊕ | BENCHMARK         | — | WOOD FENCE            |
| ⊙ | SANITARY MANHOLE  | — | GUARDRAIL             |
| ⊙ | STORM MANHOLE     | — | SANITARY SEWER        |
| ⊙ | CATCH BASIN       | — | STORM SEWER           |
| ⊙ | GATE VALVE        | — | WATERMAIN             |
| ⊙ | AIR CONDITIONER   | — | UNDERGROUND ELECTRIC  |
| ⊙ | ELECTRIC MANHOLE  | — | OVERHEAD WIRE         |
| ⊙ | ELECTRIC BOX      | — | UNDERGROUND GAS       |
| ⊙ | ELECTRIC METER    | — | SPOT ELEVATION        |
| ⊙ | HANDHOLE          | — | EXISTING CONTOUR LINE |
| ⊙ | UTILITY POLE      | — | TREE                  |
| ⊙ | GUY WIRE          | — | BITUMINOUS SURFACE    |
| ⊙ | SEMAPHORE         | — | CONCRETE SURFACE      |
| ⊙ | TELEPHONE MANHOLE | — | GRAVEL SURFACE        |
| ⊙ | COMMUNICATION BOX | — | PAVER SURFACE         |
| ⊙ | GAS METER         |   |                       |
| ⊙ | PARKING COUNT     |   |                       |

GOPHER STATE ONE CALL NOTE:

- List of utilities notified per Gopher State One Call Ticket No. 221792295.
- |                                 |   |
|---------------------------------|---|
| ARVIG - ACSMPD1                 | HENNEPIN COUNTY PUBLIC WORKS - HENDPW01 |
| CITY OF BROOKLYN PARK - CBKBP01 | MCI - MGC001                            |
| COMCAST - CCMN01                | CENTER POINT ENERGY - MINGAS03          |
| CITY OF MAPLE GROVE - CMPLGV01  | CENTER POINT ENERGY - MINGAS05          |
| CITY OF OSSEO - COSSED01        | LEVEL 3 IS NOW CENTURYLINK - VLMTCM01   |
| CENTURYLINK - CLQL - CLLMN01    | XCEL ENERGY - XCEL04                    |



CERTIFICATION:

To Hall Sweeney Properties, LLC, a Minnesota limited liability company, Rains Properties, LLC, a Minnesota limited liability company, Jason A. Erickson, JAI, Motors and Sales LLC, a Minnesota limited liability company, Rush Creek Meadows, LLC, a Minnesota limited liability company, Guaranty Commercial Title, Inc. and Old Republic National Title Insurance Company.  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13, 16, 17, and 18 of Table A thereof. The fieldwork was completed on July 13, 2022.

Date of Plot or Map: July 18, 2022

Eric A. Roeder  
Minnesota License No. 47476  
eroeder@efnsurvey.com

FIELD BOOK	PAGE	FIELDWORK CHIEF:	NO.	DATE	REVISIONS
		TV			DESCRIPTION
		DRAWN BY:			
		DL			
DRAWING NAME:		CHECKED BY:			
39997.dwg		EAR			
JOB NO. 39997					
FILE NO.					

ALTA/NSPS  
LAND TITLE SURVEY

SURVEY FOR:  
Hall Sweeney Properties, LLC

PROPERTY ADDRESS:  
600, 608, 616, 624 & 632, Central Avenue  
Osseo, Minnesota 55369



475 Old Highway 8 NW, Suite 200  
New Brighton, Minnesota 55112  
PHONE: (612) 466-3300  
WWW.EFNSURVEY.COM

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# PRELIMINARY SITE CONSTRUCTION PLANS

FOR

## CENTRAL AVENUE APARTMENTS

600 CENTRAL AVE  
OSSEO, MN 55369

### CLIENT



HALL SWEENEY PROPERTIES  
4500 DREXEL AVENUE  
MINNEAPOLIS, MINNESOTA 55424  
(P) - 612-274-3839

### ENGINEER



STANTEC CONSULTING SERVICES, INC.  
7500 OLSON MEMORIAL HWY SUITE 300  
GOLDEN VALLEY, MINNESOTA 55427  
(E) - CLARK.LOHR@STANTEC.COM, DAN.LAVENDER@STANTEC.COM  
CONTACTS: CLARK LOHR, DAN LAVENDER, P.E.

### ARCHITECT



COLLAGE ARCHITECTS  
708 NE 15TH AVE  
MINNEAPOLIS, MN 55413  
(E) - PKEELY@COLLAGEARCH.COM  
CONTACT: PETE KEELY, AIA



VICINITY MAP  
NOT TO SCALE



PROJECT LOCATION  
CITY: OSSEO  
COUNTY: HENNEPIN

THIS PLANSET CONTAINS 13 SHEETS

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
G-001	COVER SHEET
G-004	EXISTING CONDITIONS
C-001	REMOVALS AND PHASE 1 EROSION CONTROL PLAN
C-101	SITE PLAN
C-201	PHASE 2 EROSION CONTROL PLAN
C-301	GRADING PLAN
C-401	UTILITY PLAN
C-501	STORM SEWER PLAN
C-801	DETAILS
C-802	DETAILS
C-803	DETAILS
L-101	LANDSCAPE PLAN
L-801	LANDSCAPE DETAILS

#### WARNING:

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**GOPHER STATE ONE CALL**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE 1-800-252-1166



7500 OLSON MEMORIAL HWY  
SUITE 300  
GOLDEN VALLEY, MN 55427  
PHONE: 763-252-6800  
FAX: 952-831-1268  
WWW.STANTEC.COM

CLIENT:



ARCHITECT:



CENTRAL AVENUE  
APARTMENTS  
600 CENTRAL AVENUE OSSEO, MN 55369

PROJECT TITLE

ISSUE NO:

DESCRIPTION:

DATE:

CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

LICENSE NO:

DATE:

PROJECT NO: 227705300

DWN BY: JTP    CHK'D BY: CDL    APP'D BY: DML

ISSUE DATE: 08/18/2022

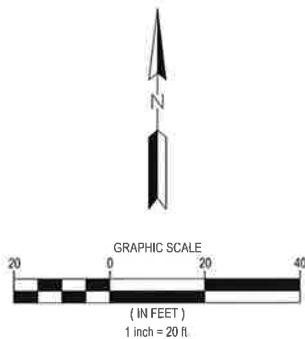
ISSUE NO: 1

SHEET TITLE:

COVER SHEET

SHEET NO:

G-001



	PROPERTY BOUNDARY
	LOT LINE
	RIGHT OF WAY LINE
	SECTION LINE
	EXISTING FENCE LINE
	EXISTING RETAINING WALL LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND COMMUNICATION LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING CURB AND GUTTER
	EXISTING ROAD CENTERLINE
	EXISTING CONCRETE SURFACE
	EXISTING ASPHALT SURFACE
	EXISTING GRAVEL SURFACE
	EXISTING BUILDING
	EXISTING PAVERS SURFACE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING SANITARY MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER INLET
	EXISTING WATER VALVE
	EXISTING ELECTRIC MANHOLE
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING ANCHOR CABLE
	EXISTING LIGHT POLE
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING AIR CONDITIONER
	EXISTING MAILBOX
	EXISTING HANDICAP PARKING SPACE
	EXISTING HAND HOLE

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES

**WARNING:**

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CALL BEFORE YOU DIG

**GOPHER STATE ONE CALL**

TWIN CITY AREA: 651-454-0002  
TOLL FREE 1-800-252-1166

[illegible]

**CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN,  
SPECIFICATION, OR REPORT WAS  
PREPARED BY ME OR UNDER MY  
DIRECT SUPERVISION AND THAT I AM A  
FULLY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE  
STATE OF MINNESOTA.

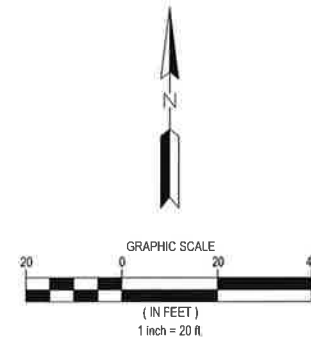
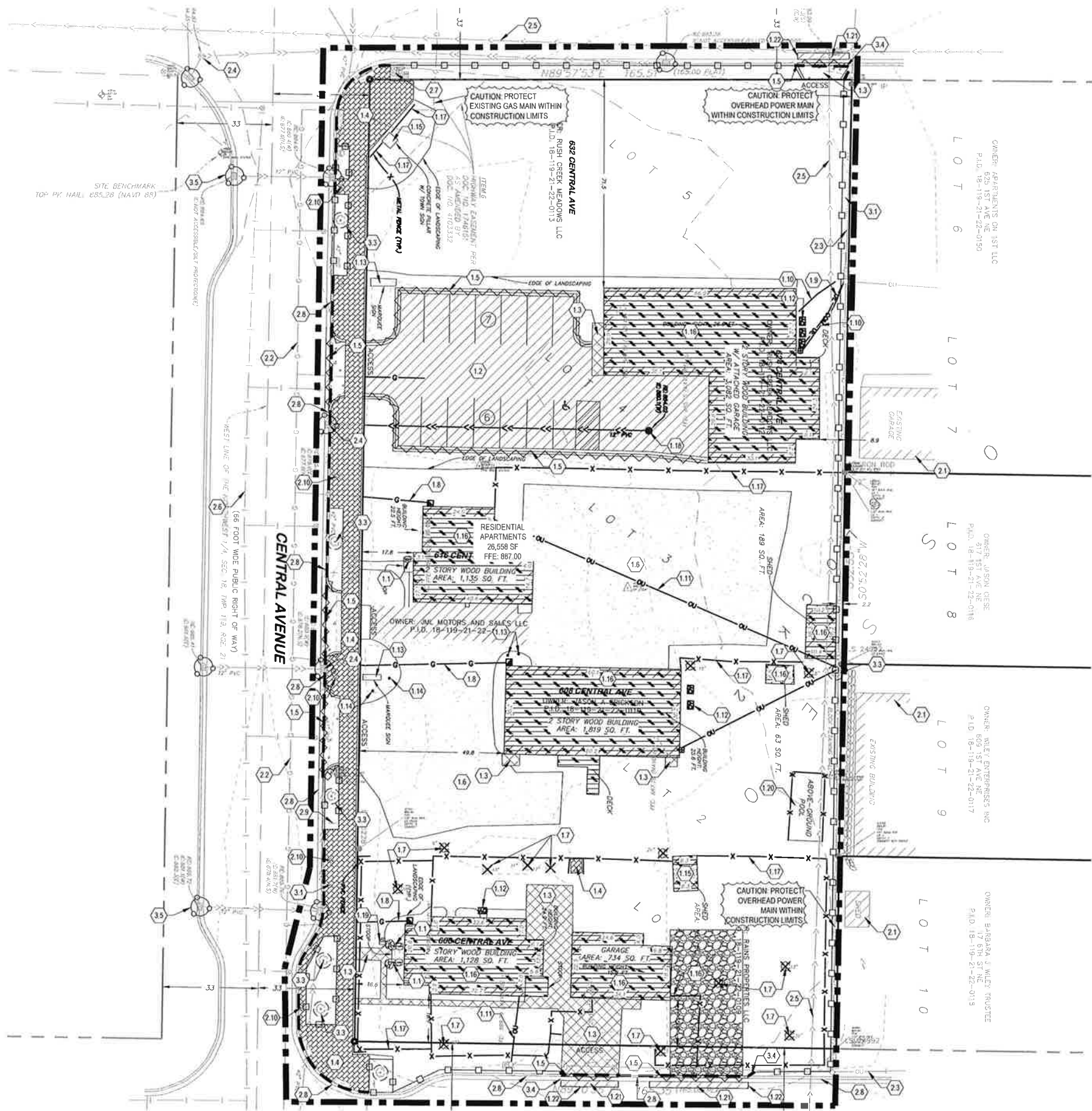
\_\_\_\_\_

LICENSE NO.: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT NO :		227705300	
DWN BY:	CHK'D BY:	APP'D BY:	
JTP	CDL	DML	
ISSUE DATE: 08/18/2022			
ISSUE NO.: 1			
SHEET TITLE:			
EXISTING CONDITIONS			
SHEET NO :			
G-004			





NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
2. CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
3. UNTRENCHED SILT FENCE OR ORANGE SNOW FENCE MAY BE USED FOR TREE PROTECTION.
4. CONSTRUCTION LIMITS AND SILT FENCE SHOWN OFFSET FROM PROPERTY LINE FOR CLARITY, WHERE APPLICABLE.

KEYNOTES

1. REMOVAL AND RELOCATION ITEM
  - 1.1. REMOVE RETAINING WALL
  - 1.2. REMOVE BITUMINOUS PAVEMENT
  - 1.3. REMOVE CONCRETE PAVEMENT
  - 1.4. REMOVE PAVERS PAVEMENT
  - 1.5. REMOVE CURB AND GUTTER
  - 1.6. REMOVE GRAVEL SURFACING
  - 1.7. REMOVE TREE
  - 1.8. REMOVE GAS METER AND SERVICE - COORDINATE WITH UTILITY SERVICE PROVIDER
  - 1.9. REMOVE UNDERGROUND ELECTRIC LINE
  - 1.10. REMOVE COMMUNICATIONS LINE
  - 1.11. REMOVE OVERHEAD UTILITIES LINE
  - 1.12. REMOVE A/C
  - 1.13. REMOVE MONUMENT SIGN
  - 1.14. REMOVE BOLLARD
  - 1.15. SALVAGE AND REINSTALL CITY MONUMENT SIGN
  - 1.16. REMOVE BUILDING/STRUCTURE AND FOUNDATIONS, ANY UTILITY SERVICES, AND ALL DECKS
  - 1.17. REMOVE FENCE
  - 1.18. REMOVE STORM SEWER INLET
  - 1.19. REMOVE MAILBOX
  - 1.20. REMOVE ABOVE GROUND POOL
  - 1.21. REMOVE ASPHALT PAVEMENT
  - 1.22. SAWCUT PAVEMENT
2. PROTECT ITEM
  - 2.1. PROTECT BUILDING/STRUCTURE
  - 2.2. PROTECT GAS LINE
  - 2.3. PROTECT OVERHEAD UTILITY LINE AND ALL APPURTENANCES
  - 2.4. PROTECT STORM SEWER AND STRUCTURES
  - 2.5. PROTECT SANITARY SEWER AND STRUCTURES
  - 2.6. PROTECT ALL EXISTING WATERMAIN AND APPURTENANCES
  - 2.7. PROTECT TRAFFIC INFRASTRUCTURE
  - 2.8. PROTECT EXISTING CURB AND GUTTER
  - 2.9. PROTECT EXISTING SIGN
  - 2.10. PROTECT EXISTING STREETLIGHTS
3. EROSION CONTROL ITEM
  - 3.1. SILT FENCE - SEE DETAIL 1/C-801
  - 3.2. ROCK CONSTRUCTION ENTRANCE - SEE DETAIL 2/C-801
  - 3.3. TREE PROTECTION (TYP.) - SEE NOTE 3, THIS SHEET
  - 3.4. BIOROLL - SEE DETAIL 3/C-801
  - 3.5. INLET PROTECTION - SEE DETAIL 4/C-801

TREE REMOVAL INVENTORY		
EVERGREEN (E) OR DECIDUOUS (D)	EXCEEDS REPLACEMENT THRESHOLD 12" D OR 7" E	DBH
D	Y	36
D	Y	17
D	Y	13
D	Y	16
D	N	N/A
E	Y	13
E	Y	11
E	Y	17
D	Y	26
D	Y	15
D	N	N/A
D	N	N/A

LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- RIGHT OF WAY LINE
- SECTION LINE
- REMOVE FENCE
- REMOVE RETAINING WALL
- REMOVE STORM SEWER
- REMOVE SANITARY SEWER
- REMOVE WATERMAIN
- REMOVE UNDERGROUND GAS LINE
- REMOVE UNDERGROUND COMMUNICATION LINE
- REMOVE UNDERGROUND ELECTRIC LINE
- REMOVE OVERHEAD UTILITY LINE
- REMOVE BITUMINOUS PAVEMENT
- REMOVE CONCRETE PAVEMENT
- REMOVE GRAVEL SURFACING
- REMOVE BUILDING
- REMOVE PAVERS SURFACING
- REMOVE TREE
- REMOVE CURB AND GUTTER
- SAWCUT PAVEMENT
- REMOVE SANITARY MANHOLE
- REMOVE STORM SEWER MANHOLE
- REMOVE STORM SEWER INLET
- EXISTING STORM SEWER INLET
- EXISTING WATER VALVE
- REMOVE ELECTRIC MANHOLE
- REMOVE SIGN
- REMOVE UTILITY POLE
- REMOVE ANCHOR CABLE
- REMOVE LIGHT POLE
- REMOVE DECIDUOUS TREE
- REMOVE CONIFEROUS TREE
- REMOVE AIR CONDITIONER
- REMOVE MAILBOX
- INLET PROTECTION
- TREE PROTECTION
- ROCK CONSTRUCTION EXIT
- SILT FENCE
- BIOROLL

WARNING:

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CALL BEFORE YOU DIG  
**GOPHER STATE ONE CALL**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE 1-800-252-1166

**Stantec**

7500 OLSON MEMORIAL HWY  
SUITE 300  
GOLDEN VALLEY, MN 55427  
PHONE: 763-252-6800  
FAX: 952-831-1258  
WWW.STANTEC.COM

CLIENT:

**HALL SWEENEY**  
PROPERTIES

ARCHITECT:

**Collage**  
ARCHITECTS

**CENTRAL AVENUE  
APARTMENTS**

600 CENTRAL AVENUE OSSEO, MN 55369

PROJECT TITLE	
ISSUE NO.	1
DESCRIPTION	CITY SUBMITAL
DATE	08/18/2022

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

PROJECT NO. 227705300

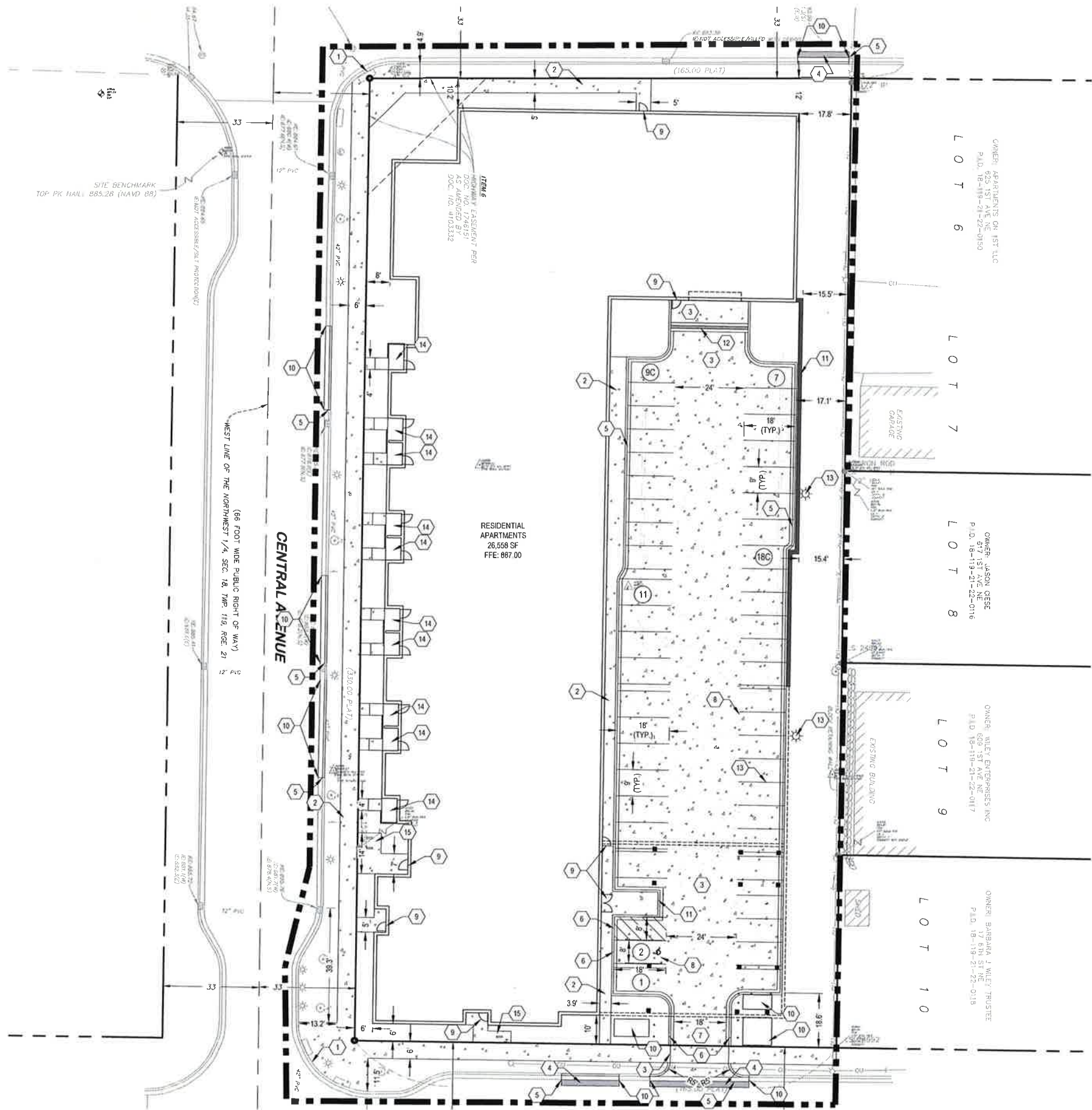
DWN BY: JTP CHK'D BY: CDL APP'D BY: DML

ISSUE DATE: 08/18/2022

ISSUE NO: 1

SHEET TITLE  
**REMOVALS AND PHASE 1  
EROSION CONTROL PLAN**

SHEET NO:  
**C-001**



NOTES

1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
2. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.

KEYNOTES

1. MATCH EXISTING
2. CONCRETE SIDEWALK - SEE DETAIL 10/C-801
3. CONCRETE PAVEMENT - SEE DETAIL 9/C-801
4. BITUMINOUS PAVEMENT - SEE DETAIL 11/C-801
5. B612 CURB AND GUTTER - SEE DETAIL 5/C-801
6. CURB TRANSITION
7. CONCRETE DRIVEWAY APRON - SEE DETAIL 7/C-801
8. VAN ACCESSIBLE PARKING STALL WITH ACCESS AISLE AND SIGN - SEE DETAILS 8/C-801 AND ON SHEET C-802
9. DOOR LOCATION - SEE ARCH./STRUC. PLANS
10. TRANSFORMER WITH CONCRETE PAD - SEE ARCH./ELEC./STRUC. PLANS. PAD DESIGN BY OTHERS
11. RETAINING WALL
12. TRENCH DRAIN - SEE DETAIL 8/C-802
13. LIGHT POLE
14. ELEVATED PATIO WITH STAIR CONNECTION TO BUILDING. MAY HAVE RAILING. SEE ARCHITECTURAL PLAN
15. BIKE PARKING

LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- SECTION LINE
- QUARTER LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- CURB AND GUTTER
- BITUMINOUS PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- RETAINING WALL (BY OTHERS)
- PROPOSED PARKING COUNT
- UNDERGROUND STORM SYSTEM LIMITS - SEE SHEET C-501

SITE ANALYSIS TABLE			
ADDRESS	600-632 CENTRAL AVE, OSSEO, MN 55369		
EXISTING ZONING	EDGE MIXED-USE		
PROPOSED ZONING	EDGE MIXED-USE		
PROPOSED USE	MULTI-FAMILY RESIDENTIAL		
LOT AREA SUMMARY			
LOT NUMBER	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING PARCEL SUMMARY	1.26	0.57	0.69
PROPOSED USE (use)	1.26	1.01	0.25
BUILDING SUMMARY			
LOT NUMBER	BUILDING FOOTPRINT (SF)	GROSS FLOOR AREA (SF)	# OF STORIES
PROPOSED USE (use)	26,558	106,232	4
PARKING SUMMARY			
TOTAL PARKING	REQUIRED	PROPOSED	
PROPOSED SURFACE USE (USE)		46	
PROPOSED UNDERGROUND USE (use)		154	
ACCESSIBLE PARKING	REQUIRED	PROPOSED	
PROPOSED USE (use)		1	
SETBACK SUMMARY			
	REQUIRED	PROPOSED	
FRONT	0'	8'	
SIDE CORNER	0'	10.2'	
SIDE INTERIOR	0'	6'	
REAR	0'	15.5'	
PARKING SIDE INTERIOR	5'	18.6'	
PARKING REAR	8'	17.1'	

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GOPHER STATE ONE CALL

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TOLL FREE 1-800-252-1166



7500 OLSON MEMORIAL HWY  
SUITE 300  
GOLDEN VALLEY, MN 55427  
PHONE: 763-252-6800  
FAX: 952-831-1266  
WWW.STANTEC.COM

CLIENT:



ARCHITECT:



CENTRAL AVENUE  
APARTMENTS

600 CENTRAL AVENUE OSSEO, MN 55369

PROJECT TITLE

ISSUE NO.

1

DESCRIPTION

CITY SUBMITAL

DATE:

08/18/2022

CERTIFICATION  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF MINNESOTA.

LICENSING NO.

DATE:

PROJECT NO: 227705300

DWN BY: JTP CHK'D BY: CDL APP'D BY: DML

ISSUE DATE: 08/18/2022

ISSUE NO: 1

SHEET TITLE:

SITE PLAN

SHEET NO:

C-101





- ### LEGEND

- ## NOTES

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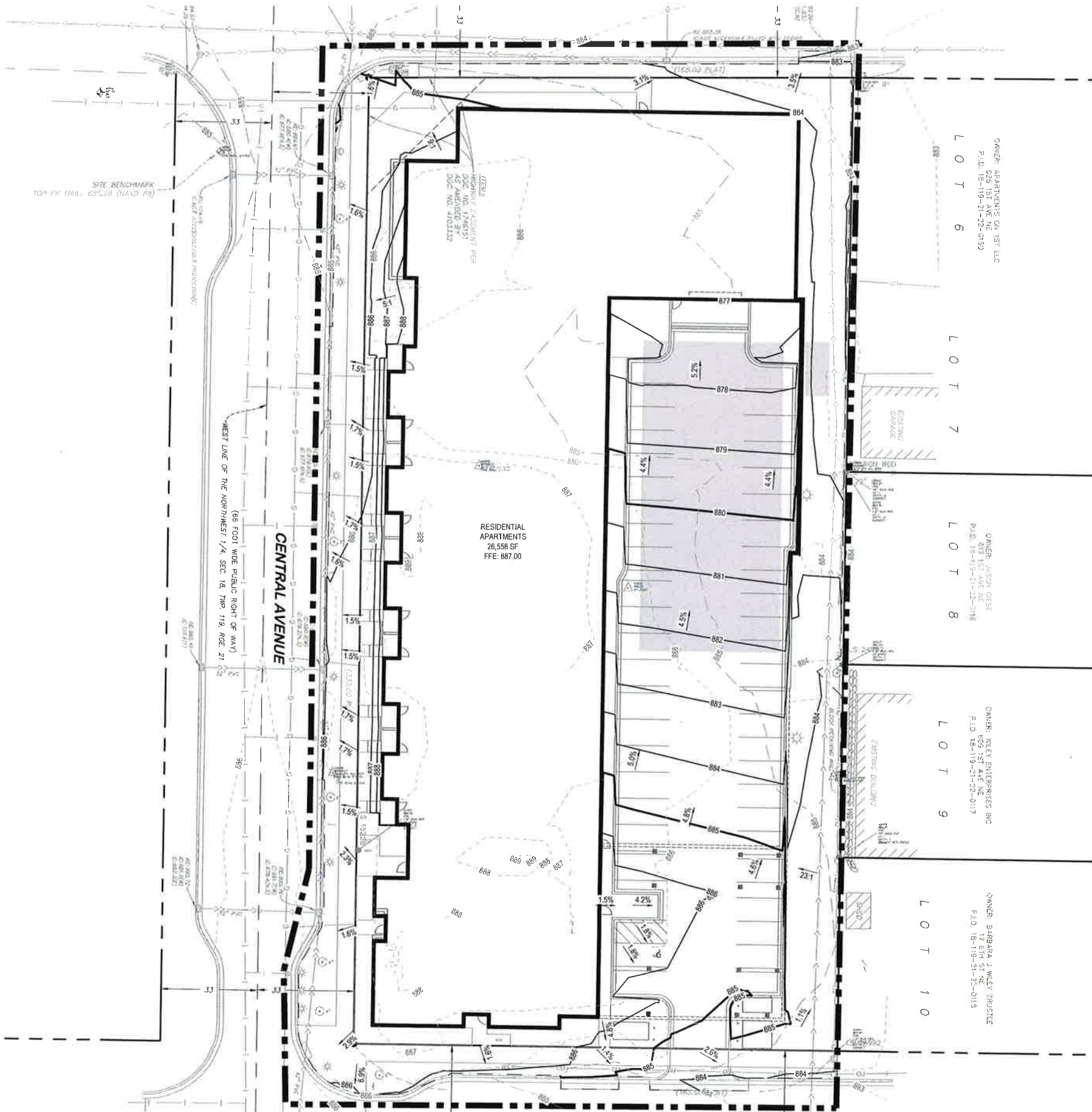
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CALL BEFORE YOU DIG

**GOPHER STATE ONE CALL**

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TOLL FREE 1-800-252-1166





NOTES

- SEE SHEET C-002 FOR ADDITIONAL PROJECT NOTES.
- EXISTING SPOT ELEVATIONS AT MATCH POINTS ARE BASED ON INTERPOLATED POINT TO POINT SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS PRIOR TO INSTALLATION OF IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY OF ANY FIELD DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR MAKING NECESSARY ADJUSTMENTS IN THE FIELD FOR CONSTRUCTABILITY, REGULATORY COMPLIANCE (ADA), POSITIVE DRAINAGE, AND TO ENSURE SMOOTH TRANSITIONS TO FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REWORK OF A DISCREPANCY THAT IS NOT COMMUNICATED TO THE ENGINEER IN WRITING.
- CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM ENGINEER. FAILURE TO NOTIFY OWNER AND ENGINEER OF AN IDENTIFIABLE CONFLICT BEFORE PROCEEDING WITH INSTALLATION RELIEVES OWNER AND ENGINEER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- TOP OF CURB ELEVATIONS ARE PROVIDED WHERE CURB HEIGHT DIFFERS FROM 0" OR 6". ENSURE ADA CRITERIA IS MET THROUGHOUT SITE.

LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- SECTION LINE
- QUARTER LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING SANITARY MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EXISTING CURB STOP
- EXISTING WATER VALVE
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- CONSTRUCTION LIMITS
- FLOW LINE ELEVATION
- FINISHED GRADE ELEVATION
- MATCH EXISTING ELEVATION
- SIDEWALK ELEVATION
- EMERGENCY OVERFLOW ELEVATION
- TOP OF CURB ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION (AT GRADE)
- STRUCTURE RIM SPOT ELEVATION
- SURFACE GRADE & FLOW DIRECTION
- SURFACE SLOPE (H:V) & FLOW DIRECTION
- FLOW LINE ELEVATION AT ZERO HEIGHT CURB
- FLOW LINE ELEVATION AT FULL HEIGHT CURB

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

CALL BEFORE YOU DIG

**GOPHER STATE ONE CALL**

TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**Stantec**

7500 OLSON MEMORIAL HWY  
SUITE 300  
GOLDEN VALLEY, MN 55427  
PHONE: 763.252.6800  
FAX: 952.831.1268  
WWW.STANTEC.COM

CLIENT:

**HALL SWEENEY**  
PROPERTIES

ARCHITECT:

**Collage**  
PROFESIONALS

**CENTRAL AVENUE  
APARTMENTS**

600 CENTRAL AVENUE OSSEO, MN 55369

PROJECT TITLE	ISSUE NO.	DESCRIPTION	DATE
CENTRAL AVENUE APARTMENTS	1	CITY SUBMITTAL	08/18/2022

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 08/18/2022

PROJECT NO.: 227705300

DWN BY: JTP CHKD BY: CDL APP'D BY: DML

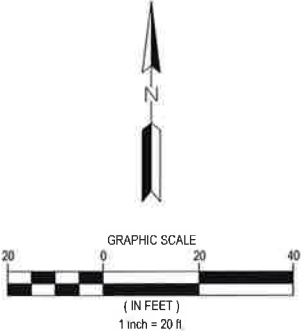
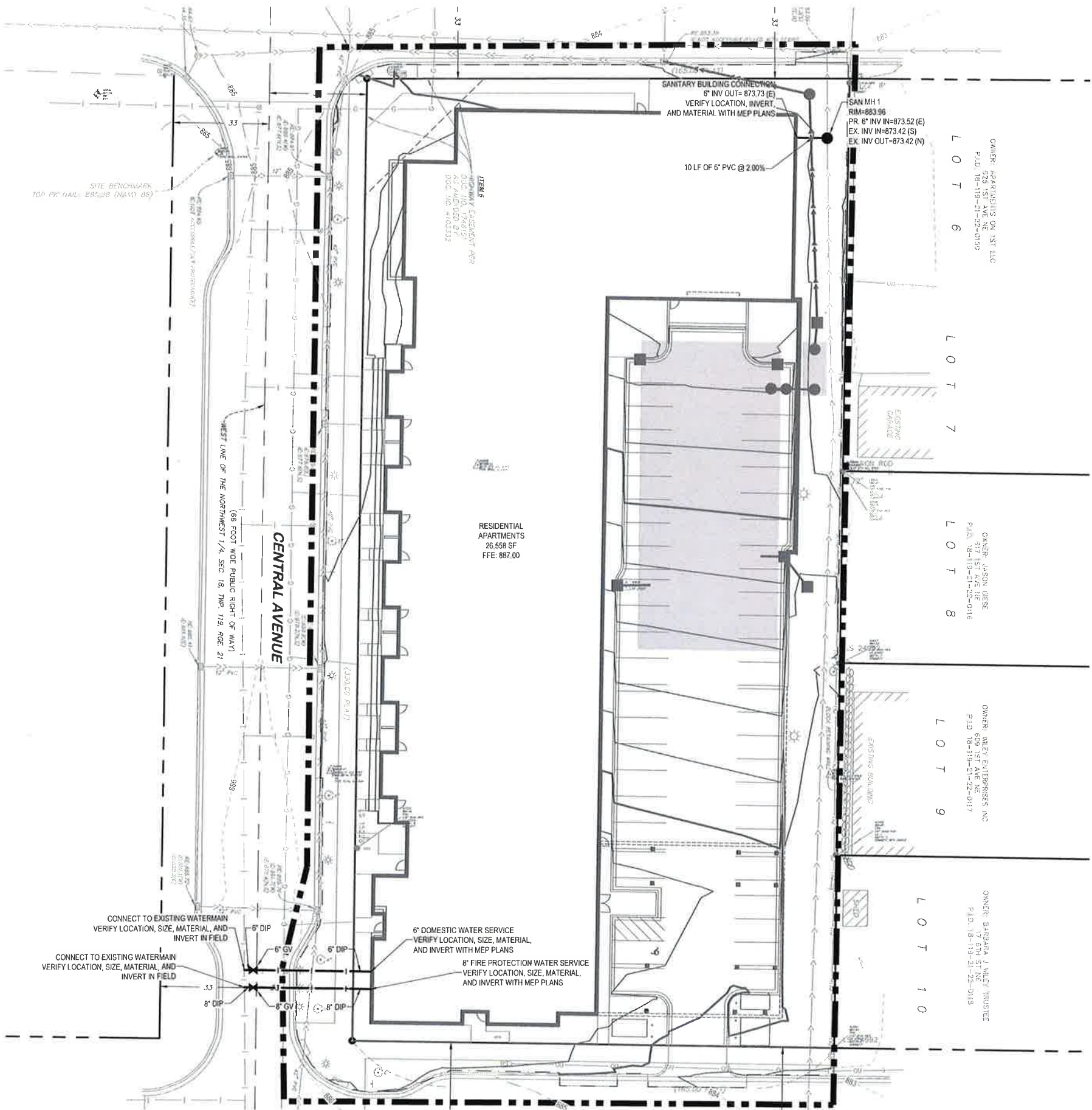
ISSUE DATE: 08/18/2022

ISSUE NO.: 1

SHEET TITLE: GRADING PLAN

SHEET NO.: C-301





- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
  - CONTRACTOR SHALL VERIFY LOCATION, SIZE, INVERT, AND MATERIAL OF ALL UTILITY CONNECTIONS TO UTILITY MAINS, STUBS, AND BUILDING SYSTEMS PRIOR TO CONSTRUCTION.

- LEGEND**
- PROPERTY BOUNDARY
  - LOT LINE
  - EASEMENT LINE
  - RIGHT OF WAY LINE
  - SECTION LINE
  - QUARTER LINE
  - EXISTING EASEMENT LINE
  - EXISTING PROPERTY LINE
  - EXISTING MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING STORM SEWER
  - EXISTING SANITARY SEWER
  - EXISTING WATERMAIN
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM SEWER MANHOLE
  - EXISTING STORM SEWER INLET
  - EXISTING CURB STOP
  - EXISTING WATER VALVE
  - PROPOSED MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - GRADING LIMITS
  - STORM SEWER
  - DRAIN TILE
  - STORMWATER FORCE MAIN
  - SANITARY SEWER
  - WATERMAIN
  - STORM MANHOLE
  - STORM CATCH BASIN
  - FLARED END SECTION
  - STORM CLEANOUT
  - SANITARY MANHOLE
  - GATE VALVE

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TWIN CITY AREA: 651-454-0002  
TOLL FREE 1-800-252-1165

**Stantec**  
7500 OLSON MEMORIAL HWY  
SUITE 300  
GOLDEN VALLEY, MN 55427  
PHONE: 763-252-6800  
FAX: 952-831-1268  
WWW.STANTEC.COM

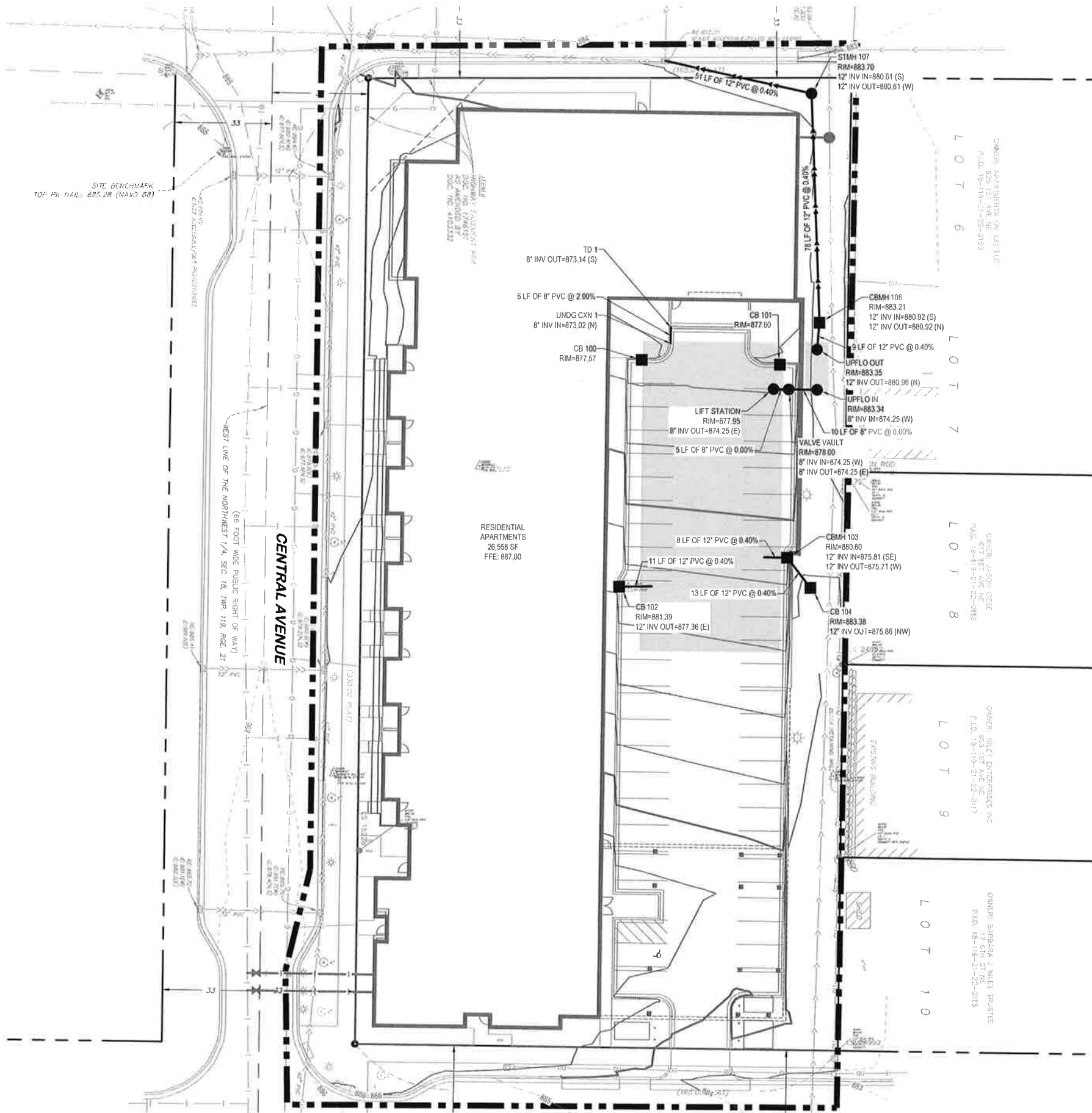
CLIENT:  
**HALL SWEENEY PROPERTIES**

ARCHITECT:  
**Collage architecture**

**CENTRAL AVENUE APARTMENTS**  
600 CENTRAL AVENUE OSSEO, MN 55369

PROJECT TITLE	ISSUE NO.
CENTRAL AVENUE APARTMENTS	1

DESCRIPTION	DATE
CITY SUBMITTAL	08/18/2022
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PROJECT NO.: 227705300	
OWN BY: JTP	CHK'D BY: CDL
APP'D BY: DMIL	
ISSUE DATE: 08/18/2022	
ISSUE NO.: 1	
SHEET TITLE: UTILITY PLAN	
SHEET NO.: C-401	



### NOTES

- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES

### LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- SECTION LINE
- QUARTER LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING SANITARY MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EXISTING CURB STOP
- EXISTING WATER VALVE
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- STORM SEWER
- DRAINTILE
- STORMWATER FORCEMAIN
- SANITARY SEWER
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- STORM MANHOLE
- STORM CATCH BASIN
- FLARED END SECTION
- STORM CLEANOUT
- SANITARY MANHOLE
- GATE VALVE

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7500 OLSON MEMORIAL HWY  
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WWW.STANTEC.COM

CLIENT:



ARCHITECT:



## CENTRAL AVENUE APARTMENTS

600 CENTRAL AVENUE OSSEO, MN 55369

PROJECT TITLE:

ISSUE NO.

1

DESCRIPTION

CITY SUBMITTAL

DATE:

08/18/2022

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STATE OF MINNESOTA.

LICENSE NO.:

DATE:

PROJECT NO. 227705300

DWN BY:

JTP

CHKD BY:

CDL

APPD BY:

DML

ISSUE DATE 08/18/2022

ISSUE NO. 1

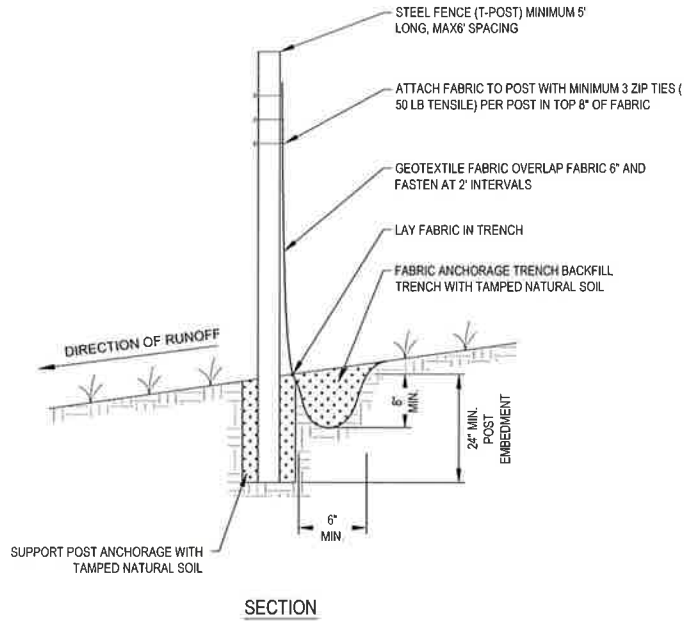
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STORM SEWER PLAN

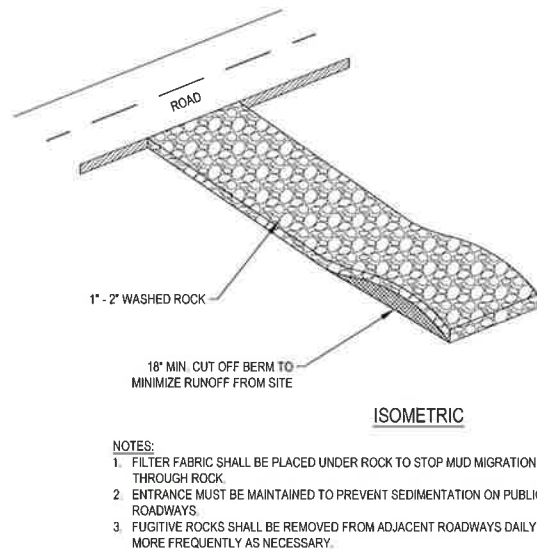
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**C-501**

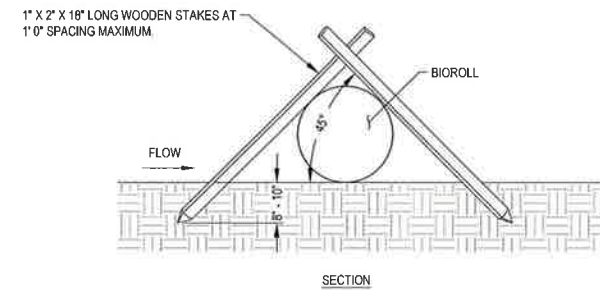




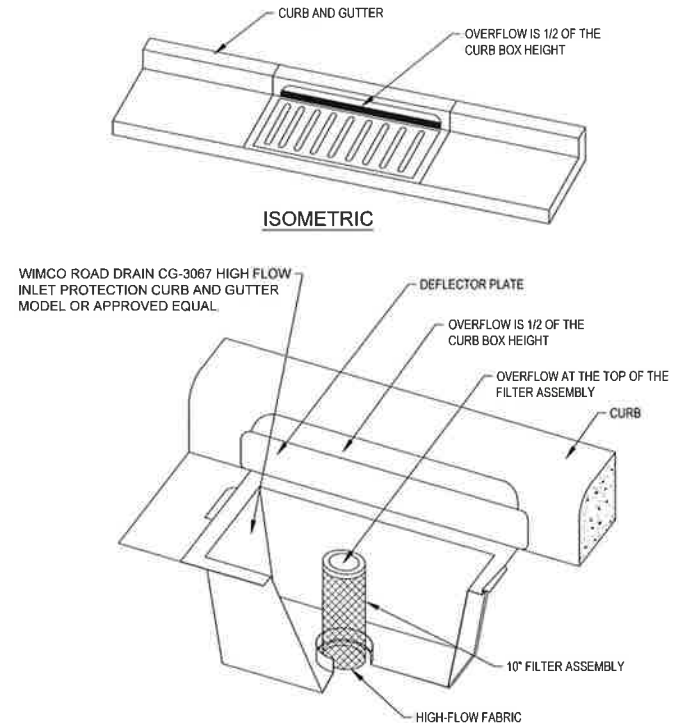
1 SILT FENCE MACHINE SLICED  
C-801 NOT TO SCALE



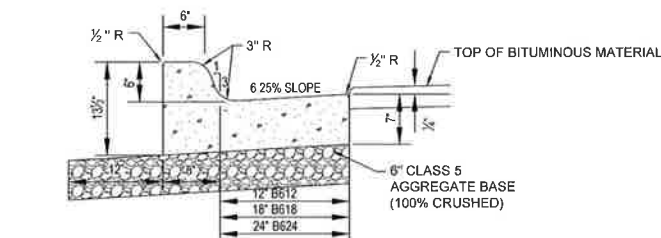
2 STABILIZED CONSTRUCTION EXIT  
C-801 NOT TO SCALE



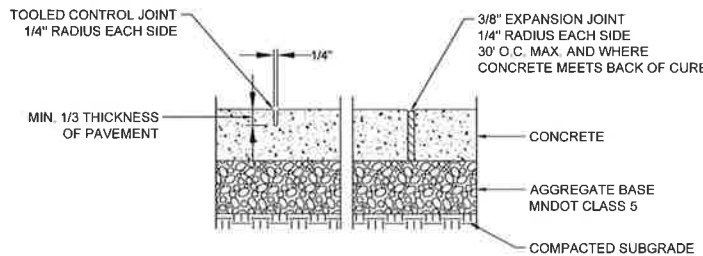
3 BIOROLL  
C-801 NOT TO SCALE



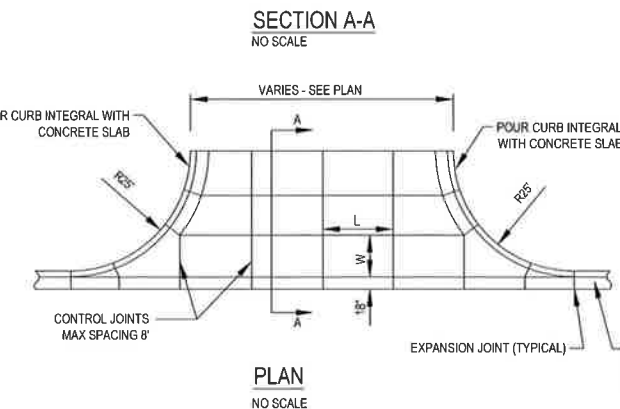
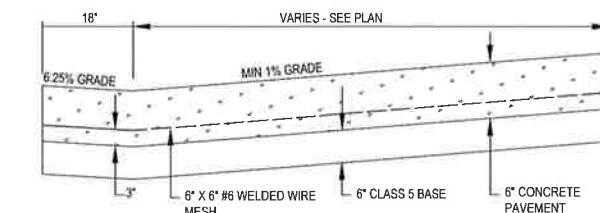
4 INLET PROTECTION CATCH BASIN INSERT  
C-801 NOT TO SCALE



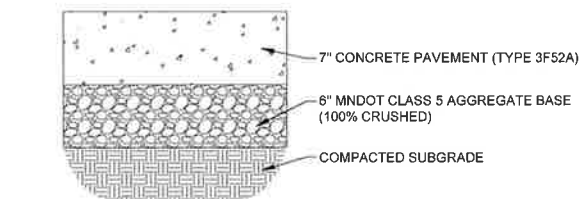
5 CONCRETE CURB AND GUTTER  
C-801 NOT TO SCALE



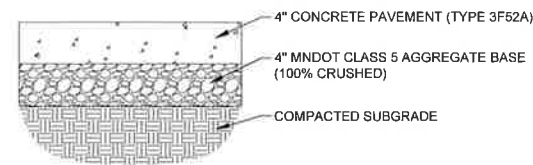
6 CONCRETE JOINTS  
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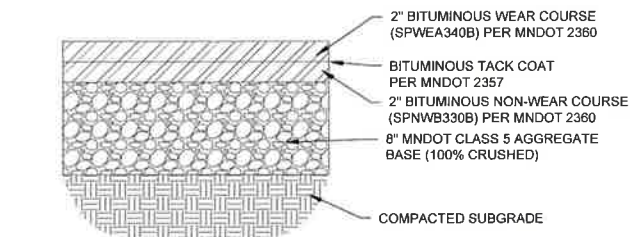
7 CONCRETE DRIVEWAY APRON  
C-801 NOT TO SCALE



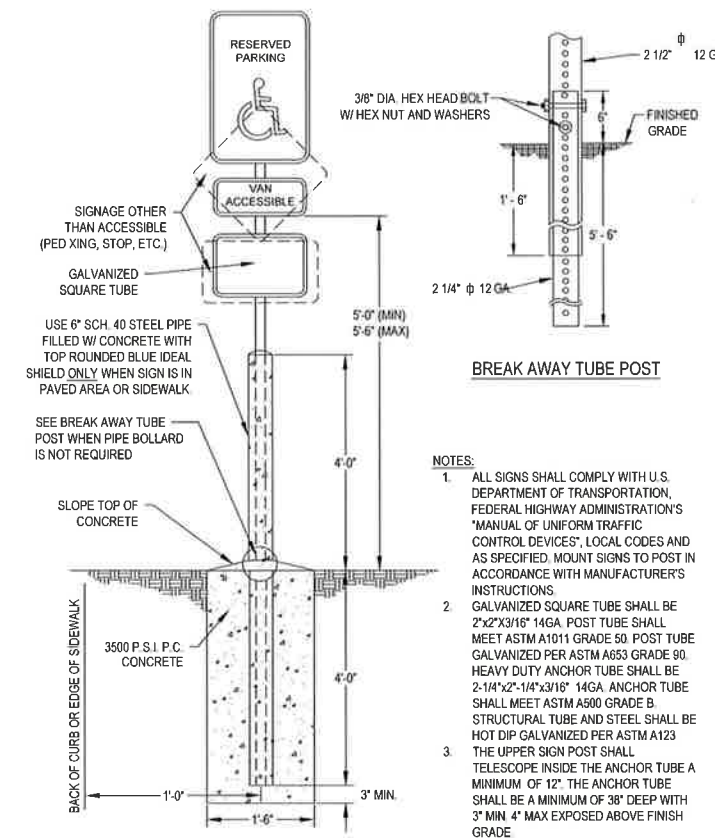
9 CONCRETE PAVEMENT  
C-801 NOT TO SCALE



10 CONCRETE SIDEWALK  
C-801 NOT TO SCALE

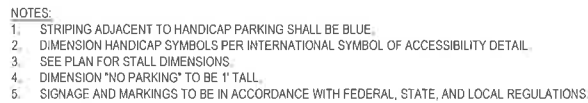


11 MEDIUM DUTY BITUMINOUS PAVEMENT  
C-801 NOT TO SCALE

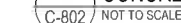
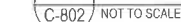
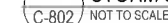
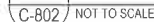
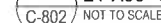
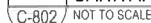
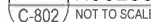


8 SIGN POST  
C-801 NOT TO SCALE

PROJECT TITLE	CENTRAL AVENUE APARTMENTS		
ISSUE NO.	1		
DESCRIPTION	CITY SUBMITTAL		
DATE	08/18/2022		
CERTIFICATION	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		
LIC. NO.			
DATE			
PROJECT NO.	227705300		
DWN BY:	JTP	CHK'D BY:	CDL
APP'D BY:			DML
ISSUE DATE:	08/18/2022		
ISSUE NO.	1		
SHEET TITLE:	DETAILS		
SHEET NO.:	C-801		



(C-802) NOT TO SCALE







## CENTRAL AVENUE APARTMENTS

### OSSEO, MN

### 60" STORMWATER PIPE SYSTEM

#### PRINSCO STORM WATER RETENTION/DETENTION SYSTEM SPECIFICATIONS

**SCOPE:** THIS SPECIFICATION DESCRIBES PRINSCO PIPE SYSTEMS FOR USE IN NON-PRESSURE GRAVITY FLOW RETENTION/DETENTION SYSTEMS.

**PIPE:** PRINSCO RETENTION/DETENTION SYSTEMS MAY BE CONSTRUCTED OUT OF THE VARIOUS PRODUCTS LISTED BELOW:

- GOLDFLO WT PIPE: MEETS OR EXCEEDS THE REQUIREMENTS OF AASHTO M254 AND ASTM F2306.
- 60" GOLDFLO WT PIPE: MEETS OR EXCEEDS THE REQUIREMENTS OF AASHTO M254 AND ASTM F2306 WITH THE EXCEPTION THAT THE MATERIAL FORMULATION SHALL CONTAIN A MINIMUM OF 40% RECYCLED POLYETHYLENE.

BOTH PRODUCT LINES HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. BOTH PRODUCTS CAN BE ORDERED PERFORATED OR NON-PERFORATED.

**JOINTS:** WT JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D2121. WITH A BELL AND SPOOT JOINT, JOINTS WILL UTILIZE A ELASTOMERIC GASKET MEETING THE REQUIREMENTS OF ASTM F477.

**FITTINGS:** FITTINGS WILL MEET THE REQUIREMENTS OF AASHTO M254 AND ASTM F2306. CUSTOM FITTINGS ARE ALSO AVAILABLE.

**INSTALLATION:** RETENTION/DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF ASTM D2321 AND PRINSCO INSTALLATION GUIDELINES.

#### NOTES:

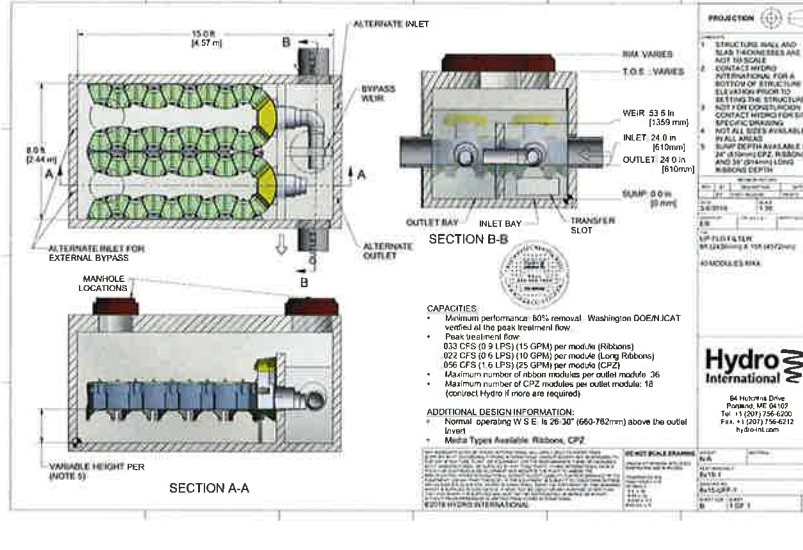
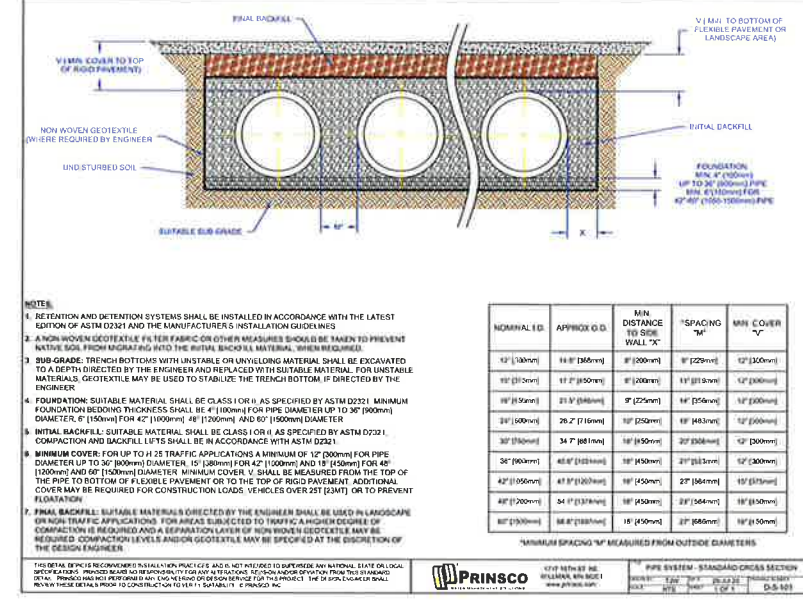
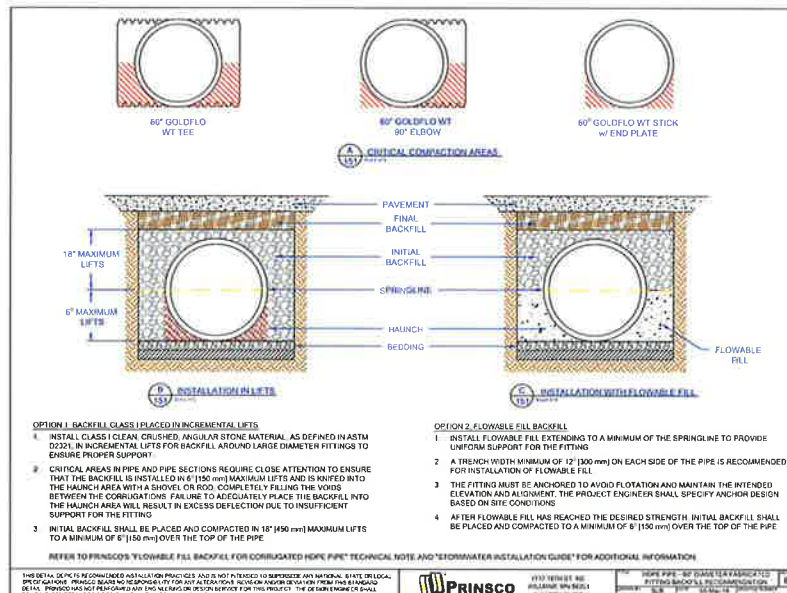
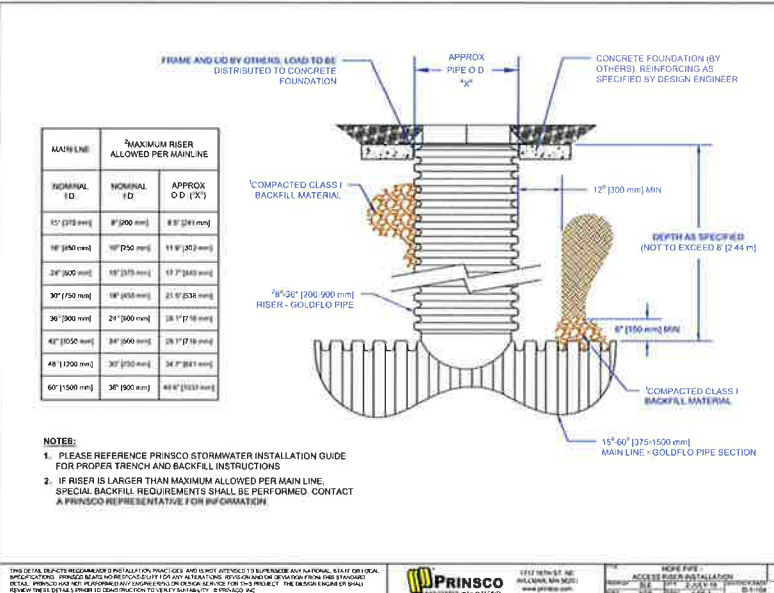
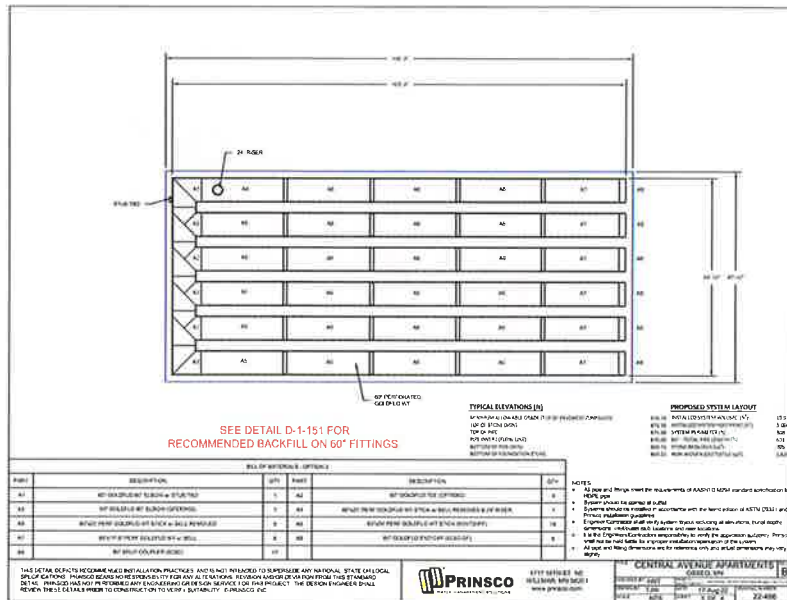
- 1. SYSTEM INSTALLATION SHOULD BE STARTED AT THE OUTFALL.
- 2. FOLLOW ASTM D2321 INSTALLATION GUIDELINES WITH CLASS I MATERIAL FOR RETENTION SYSTEMS AND CLASS I OR II MATERIAL FOR DETENTION SYSTEMS.
- 3. A NON-WOVEN GEOTEXTILE FILTER FABRIC OR OTHER MEASURES SHOULD BE TAKEN TO PREVENT WATER SOIL FROM MIGRATING INTO THE INITIAL BACKFILL MATERIAL, WHEN REQUIRED.
- 4. MINIMUM COVER TO BASE OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT FOR H 25 LOADS SHALL BE 12" FOR 36" DIAMETER PIPE OR SMALLER, 15" FOR 42" DIAMETER PIPE AND 18" FOR 48" DIAMETER PIPE.
- 5. ENGINEER/CONTRACTOR SHALL VERIFY SYSTEM LAYOUT INCLUDING ALL ELEVATIONS, RURAL DETENTION DIMENSIONS, INLET/OUTLET STUB LOCATIONS AND RISER LOCATIONS.
- 6. IT IS THE ENGINEER/CONTRACTOR'S RESPONSIBILITY TO VERIFY THE APPLICATION, SUITABILITY, PRINSCO SHALL NOT BE HELD LIABLE FOR IMPROPER INSTALLATION/APPLICATION OF THE SYSTEM.
- 7. ALL PIPE AND FITTING DIMENSIONS ARE FOR REFERENCE ONLY AND ACTUAL DIMENSIONS MAY VARY SLIGHTLY.

#### PROJECT INFORMATION:

- PROJECT NUMBER: 22-486
- PRINSCO SALES CONTACT: John Senger 320-905-7505 & Matt Bergquist 320-212-5637
- ENGINEER:
- CONTRACTOR:
- DISTRIBUTOR:

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (B) PAGES

CUSTOMER: DATE:



7500 OLSON MEMORIAL HWY  
SUITE 300  
GOLDEN VALLEY, MN 55427  
PHONE: 763-252-6800  
FAX: 952-831-1268  
WWW.STANTEC.COM

CLIENT:



ARCHITECT:



CENTRAL AVENUE  
APARTMENTS

600 CENTRAL AVENUE OSSEO, MN 55369

PROJECT TITLE:

ISSUE NO.:

DESCRIPTION:

DATE:

CITY SUBMITAL:

CERTIFICATION:

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LICENSE NO.:

DATE:

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DWN BY:

CHK'D BY:

APP'D BY:

ISSUE DATE:

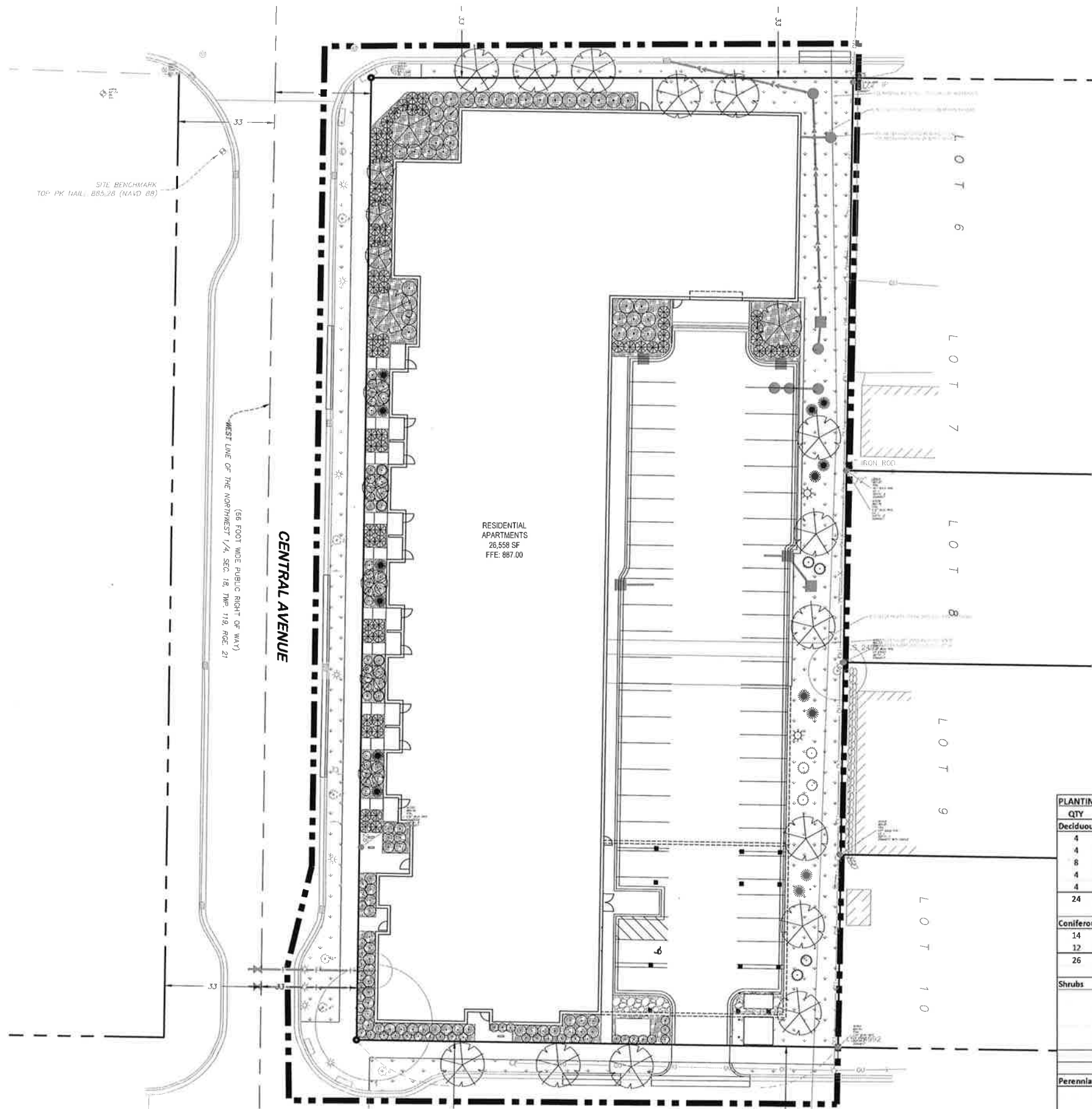
ISSUE NO.:

SHEET TITLE:

DETAILS

SHEET NO.:

C-803



### NOTES

1. SEE SHEET L-801 FOR LANDSCAPE NOTES AND DETAILS.

### LEGEND

- PROPERTY BOUNDARY  
LOT LINE  
EASEMENT LINE  
SETBACK LINE  
RIGHT OF WAY LINE  
DECIDUOUS TREE  
CONIFEROUS TREE  
SHRUB/PERENNIAL PLANT  
HARDWOOD MULCH  
ROCK MULCH  
SOD - IRRIGATED

#### 227705300 OSSEO - LANDSCAPE REQUIREMENTS

Code Reference #	Section	Site Measurements	Quantity	
153.057	B (1)	TOTAL BLDG FLOOR AREA (SF) (LEVEL 1)	26,558	
		Code Requirements	Per SF of Gross Building Floor Area	Proposed
153.057	B (1)	1 TREE FOR EVERY 1,000 SF OF TOTAL BUILDING AREA	27	50
		2.5" CAL. TREE REPLACEMENTS REQUIRED (50% TREE REPLACEMENT PER 164 DBH OF SIGNIFICANT TREES REMOVED)	33	
153.057	B (1)			
		Screening Requirements		
		(b) Any off-street parking areas that serve downtown business district establishments and face or abut a residentially zoned area shall be screened so as to minimize the visual impact of large expanses of asphalt and automobiles. This screening can be accomplished by an earth berm with shrub plantings, by hedge with various deciduous and coniferous trees, or by other combinations approved by the city.		
		(c) Loading docks and loading berths that face a residentially zoned area shall be screened so as not to be seen from the residential area. Various deciduous and coniferous trees or fencing approved by the city may be used as the screening device.		
		(d) All trash and trash handling equipment shall be stored within the principal structure, within an attached structure accessible from within the principal structure, or totally screened from eye-level view from public streets and adjacent residential properties. If accessory structures are proposed, they shall be constructed of the same building material as the principal structure.		
		(e) Light from automobile headlights and other sources shall be screened whenever it may be directed onto adjacent residential windows.		
153.057	B (1)			

#### PLANTING SCHEDULE:

QTY	%	SYMBOL	COMMON NAME	LATIN NAME	HEIGHT	WIDTH	SPACING	SIZE
<b>Deciduous Trees</b>								
4	8%	GT	HONEYLOCUST, STREET KEEPER	<i>Gleditsia triacanthos 'Draves'</i>	45'	20'	PER PLAN	2.5" B&B
4	8%	GB	GINKGO, AUTUMN GOLD	<i>Ginkgo biloba 'Autumn Gold'</i>	50'	30'	PER PLAN	2.5" B&B
8	16%	QB	CRIMSON SPIRE OAK	<i>Quercus alba x robur 'Crimson Spire'</i>	40'	10'	PER PLAN	2.5" B&B
4	8%	SR	IVORY SILK JAPANESE TREE LILAC	<i>Syringa reticulata 'Ivory Silk'</i>	25'	15'	PER PLAN	2.5" B&B
4	8%	TA	BOULEVARD LINDEN	<i>Tilia americana 'Boulevard'</i>	50'	30'	PER PLAN	2.5" B&B
24	48%		TOTAL DECIDUOUS OVERSTORY TREES					
<b>Coniferous Trees</b>								
14	28%	JV	TAYLOR JUNIPER	<i>Juniperus virginiana 'Taylor'</i>	25'	4'	PER PLAN	6' HT.
12	24%	TO	HOLMSTRUP ARBORVITAE	<i>Thuja occidentalis 'Holmstrup'</i>	8'	4'	PER PLAN	6' HT B&B
26	52%		TOTAL CONIFEROUS TREES					
<b>Shrubs</b>								
		AM	AUTUMN MAGIC BLACK CHOKEBERRY	<i>Aronia melanocarpa 'Autumn Magic'</i>	5'	5'	PER PLAN	#5 CONT.
		CS	ARCTIC FIRE DOGWOOD	<i>Cornus sericea 'Farrow'</i>	4'	4'	PER PLAN	#5 CONT.
		DL	DWARF BUSH HONEYSUCKLE	<i>Diervilla lonicera</i>	3'	3'	PER PLAN	#5 CONT.
		HA	ANNABELLE HYDRANGEA	<i>Hydrangea arborescens 'Annabelle'</i>	5'	4'	PER PLAN	#5 CONT.
		RA	ALPINE CURRANT	<i>Ribes alpinum</i>	5'	5'	PER PLAN	#5 CONT.
			TOTAL SHRUBS					
<b>Perennials &amp; Grasses</b>								
		AC	CANADA ANEMONE	<i>Anemone canadensis</i>	1.5'	1.5'	PER PLAN	#1 CONT.
		DP	PURPLE PRAIRIE CLOVER	<i>Dalea purpurea</i>	2'	1.5'	PER PLAN	#1 CONT.
		EP	PURPLE CONEFLOWER	<i>Echinacea purpurea</i>	2'	1.5'	PER PLAN	#1 CONT.
		NF	WALKER'S LOW CATMINT	<i>Nepeta x faassenii 'Walker's Low'</i>	2'	2'	PER PLAN	#1 CONT.
		PS	CREeping PHLOX	<i>Phlox stolonifera</i>	0.5'	1.5'	PER PLAN	#1 CONT.
		SS	STANDING OVATION LITTLE BLUESTEM	<i>Schizachyrium scoparium 'Standing Ovation'</i>	2'	2'	PER PLAN	#1 CONT.
			TOTAL PERENNIALS & GRASSES					



7500 OLSON MEMORIAL HWY  
SUITE 300  
GOLDEN VALLEY, MN 55427  
PHONE: 763-252-6800  
FAX: 952-831-1268  
WWW.STANTEC.COM

CLIENT:



ARCHITECT:



CENTRAL AVENUE  
APARTMENTS  
600 CENTRAL AVENUE OSSEO, MN 55369

PROJECT TITLE

ISSUE NO.	DESCRIPTION	DATE
1	CITY SUBMITTAL	08/18/2022

CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN,  
SPECIFICATION, OR REPORT WAS  
PREPARED BY ME OR UNDER MY  
DIRECT SUPERVISION AND THAT I AM A  
DULY LICENSED PROFESSIONAL  
ENGINEER UNDER THE SEAL OF THE  
STATE OF MINNESOTA.

LICENSE NO.:  
DATE:

PROJECT NO. 227705300

DWN BY: JTP CHKD BY: CDL APP'D BY: DML

ISSUE DATE: 08/18/2022

ISSUE NO. 1

SHEET TITLE:

LANDSCAPE PLAN

SHEET NO.:

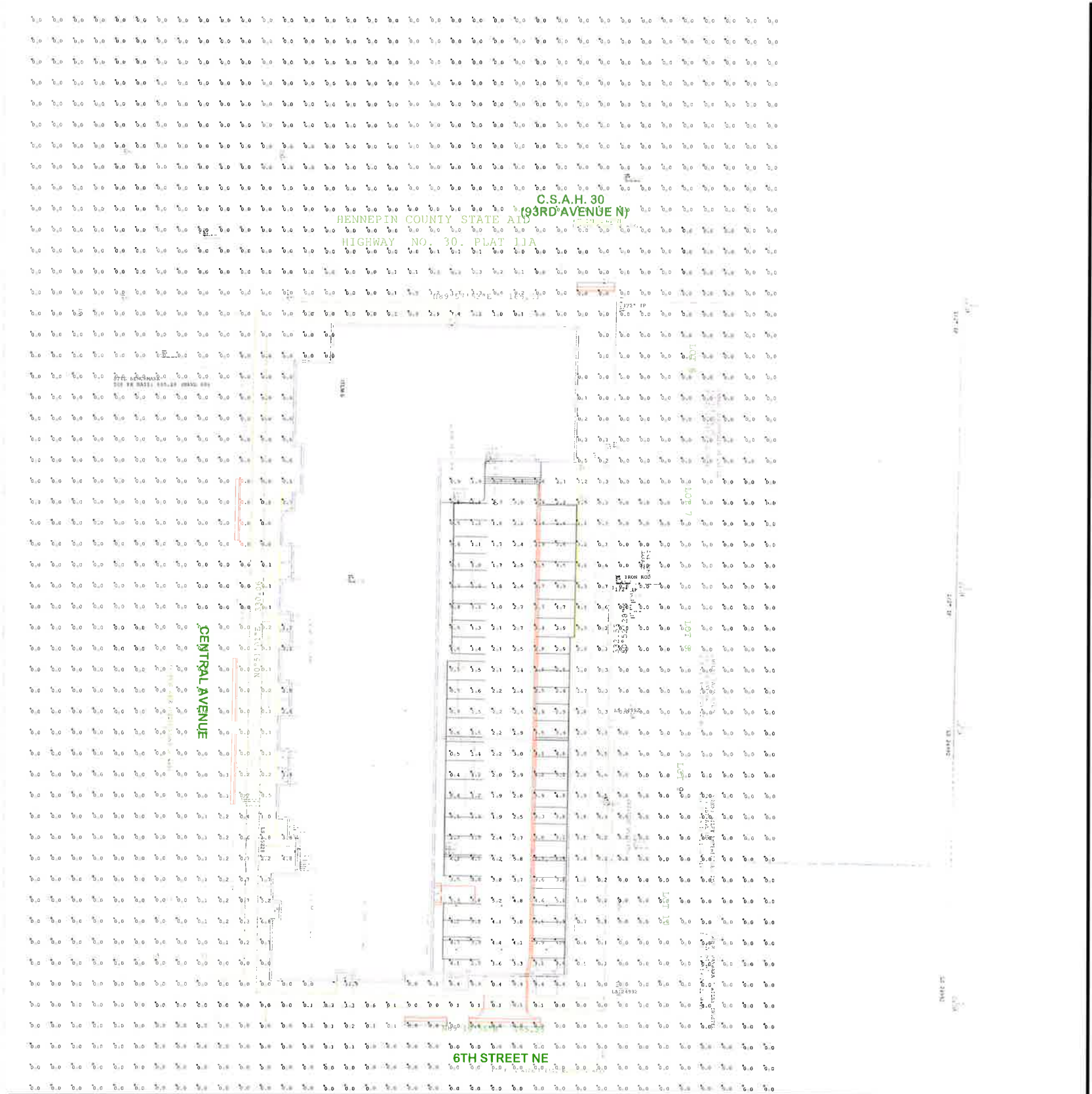
L-101







Luminaire Schedule										Calculation Summary										GENERAL NOTES:
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Walls	Lum. Lumens	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min						
II	2	AA	Single	0.900	GARDCO ECF-S-64L-900-WW-G2-3-UNV-XX-HIS MOUNTED ON 20FT SSS POLE 2FT BASE	177.8	17653	CALC POINTS GROUND	Illuminance	Fc	0.25	12.4	0.0	N.A.	N.A.	A. PULSE PRODUCTS DOES NOT ASSUME RESPONSIBILITY FOR THE INTERPRETATION OF THIS CALCULATION OR COMPLIANCE TO THE LOCAL, STATE, OR FEDERAL LIGHTING CODES OR ORDINANCES.				
	4	BB	Single	0.900	STONCO LPW-16-30-NW-G3-4-UNV-XX MOUNTED @ 10FT CENTER OVER GARAGE DOOR	34.3	3364	entry typical door	Illuminance	Fc	2.85	2.9	2.8	1.02	1.04					
	9	DD	Single	0.900	LIGHTOLIER Z4RDL20940WOCXX210U / 4RN MOUNTED IN CANOPY @ 12FT	20	1868	Covered Parking	Illuminance	Fc	4.24	6.5	2.7	1.57	2.41					
	2	DD2	Single	0.450	LIGHTOLIER Z4RDL10940WOCXX210U / 4RN MOUNTED IN CANOPY @ 9FT	10.3	1868	Garage Entrance	Illuminance	Fc	4.02	6.4	2.7	1.49	2.37					
	4	EE	Single	0.900	SATCO 62-1144R1 WALL MOUNTED AT 8.5FT	20.039	1472	Main Entrance	Illuminance	Fc	4.8	4.8	2.2	1.59	2.18					
	10	FF	Single	0.900	MODERNFORMS: WS-W24110 WALL MOUNTED AT 8.5FT	15.311	472	Uncovered Parking	Illuminance	Fc	2.40	5.2	0.4	6.00	13.00	B. LIGHTING LAYOUT IS NOT INTENDED FOR CONSTRUCTION DOCUMENTS BUT ONLY TO ILLUSTRATE THE PERFORMANCE OF THE PRODUCT.				
C. ALL READINGS/CALCULATIONS SHOWN ARE SHOWN ON WORKPLANE OR FLOOR DEPENDING ON SPACE ACTIVITY.																				



Plan View  
Scale: 1 inch= 30 Ft.



#	Date	Comments
		Revisions

Drawn By: JILL BJORNBERG LC  
Checked By: JILL  
Date: 8/15/2022  
Scale: AS NOTED  
CENTRAL AVE APARTMENT  
OSSEO, MN



## City of Osseo

415 Central Avenue  
Osseo, MN 55369-1195

P 763.425.2624 F 763.425.1111

[www.DiscoverOsseo.com](http://www.DiscoverOsseo.com)

# NOTICE

## Planning Commission Public Hearing

<b>APPLICANT:</b>	Hall Sweeney Properties
<b>REQUEST:</b>	Site and Building Plan application for the addresses listed in Location of Impact, to build a multi-unit apartment building.
<b>LOCATION OF IMPACT:</b>	600 Central Ave - PID 1811921220109 608 Central Ave - PID 1811921220110 616 Central Ave - PID 1811921220111 624 Central Ave - PID 1811921220112 632 Central Ave - PID 1811921220113
<b>TIME OF HEARING:</b>	Monday, September 19, at 6:00 p.m. – Public Planning Commission Meeting
<b>HOW TO PARTICIPATE:</b>	1) You may attend the hearing and state your comments; 2) You may send a letter before the hearing to the City of Osseo, 415 Central Avenue, Osseo, MN 55369 or fax to 763-425-1111; or 3) You may send an email to <a href="mailto:jamerman@ci.osseo.mn.us">jamerman@ci.osseo.mn.us</a>

If you want your comments to be made part of the public record, your letter, email, or fax must state your first and last name and your address. Thank you in advance for your cooperation.

<b>ANY QUESTIONS:</b>	Please contact Community Management Coordinator Joe Amerman at 763-425-1454
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You may visit City Hall (415 Central Avenue) during business hours to discuss the proposal, or visit our website after September 1 at <http://www.discoverosseo.com/departments/planning-commission/>

**Publication Date:** *The Press (September 8, 2022)*



# Hennepin County Locate & Notify Map

Date: 8/10/2022



**Buffer Size: 350**

**Map Comments:**

0 50 100 200 Feet  
|-----|-----|-----|-----|

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

For more information, contact Hennepin County GIS Office  
300 6th Street South, Minneapolis, MN 55487 / [gis.info@hennepin.us](mailto:gis.info@hennepin.us)



48 07-119-21 33 0001  
CH OF ST VINCENT DE PAUL  
9100 93RD AVE N  
BROOKLYN PARK MN 55445

88 13-119-22 11 0133  
SARAH MCNEIL  
602 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0144  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

76 12-119-22 44 0040  
PHASSE IV OF MAPLE GROVE LLC  
9340 FAIR WAY N  
MAPLE GROVE MN 55369

88 13-119-22 11 0134  
KAY L SQUIERS  
604 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0145  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0122  
STEEPLE POINTE  
C/O BENEDICTINE HEALTH  
6499 UNIVERSITY AVE NE #300  
MINNEAPOLIS MN 55432

88 13-119-22 11 0135  
AUSTIN JEFFREY MITCHELL  
606 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0146  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0126  
ALAN E & PAMELA S PICKWELL  
601 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0136  
SHARI L MATHENA  
608 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0147  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0127  
KEITH ALEXANDER PAGE  
603 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0137  
EVON VAH & BLESSING VAH  
610 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0148  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0128  
JACLYN RACHELLE RICE  
607 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0138  
LAURA ELIZABETH SNYDER  
JAMES SNYDER  
612 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0149  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0129  
GEOFFREY W BINDEWALD  
KATIE M LUEHNE  
609 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0139  
COLLEEN M SLATTERY  
614 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0150  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0130  
LINDSEY ANN BYE  
613 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0140  
DIANE CREPEAU  
616 FIRST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0151  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0131  
SHANNON KRIZKA  
615 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0142  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0152  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0132  
DANIEL A & HEIDI L MCGEE  
600 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0143  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0153  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0154  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0166  
MAGELLAN INV PTNRS LLC  
ATTN DAVID LEVIN  
225 COLUMBUS N STE 100  
CHICAGO IL 60601

88 18-119-21 22 0110  
JASON ERICKSON  
608 CENTRAL AVE  
OSSEO MN 55369

88 13-119-22 11 0155  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 13-119-22 11 0167  
MAGELLAN INV PTNRS LLC  
ATTN DAVID LEVIN  
225 COLUMBUS N STE 100  
CHICAGO IL 60601

88 18-119-21 22 0111  
ZACHARY P LAWRENCE  
616 CENTRAL AVE  
OSSEO MN 55369

88 13-119-22 11 0156  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 18-119-21 22 0002  
ANTONIO JOHNSON  
KIYOMI JOHNSON  
608 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0112  
RUSH CREEK MEADOWS LLC  
624 CENTRAL AVE  
OSSEO MN 55369

88 13-119-22 11 0157  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 18-119-21 22 0003  
JEFFREY KAITZ & SARAH KAITZ  
902 13TH AVE SW  
ABERDEEN SD 57401

88 18-119-21 22 0113  
RUSH CREEK MEADOWS LLC  
624 CENTRAL AVE  
OSSEO MN 55369

88 13-119-22 11 0158  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 18-119-21 22 0004  
NICOLAS MCBRIDE  
116 7TH ST N E  
OSSEO MN 55369

88 18-119-21 22 0116  
JASON GIESE  
617 1ST AVE N E  
OSSEO MN 55369

88 13-119-22 11 0159  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 18-119-21 22 0005  
MICHAEL THOMAS ENTINGER  
SAMANTHA RUTH ENTINGER  
632 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0117  
WILEY ENTERPRISES INC  
315 1ST AVE N E  
OSSEO MN 55369

88 13-119-22 11 0160  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 18-119-21 22 0007  
MARVIN E MILLER JR  
508 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0118  
WILEY ENTERPRISES INC  
315 1ST AVE NE  
OSSEO MN 55369

88 13-119-22 11 0161  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 18-119-21 22 0008  
DANIEL MELAND  
516 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0145  
JEFFREY J & VICKIE L MURPHY  
606 1ST AVE N E  
OSSEO MN 55369

88 13-119-22 11 0162  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 18-119-21 22 0009  
RONALD P & BARBARA J PEEHL  
524 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0147  
3 RIVERS ROBBINSDALE LLC  
5025 JONQUAIL LA N  
PLYMOUTH MN 55442

88 13-119-22 11 0163  
PRIME HOLDINGS LLC  
C/O DAVID VONDRACHEK  
4347 UPTON AVE N  
MINNEAPOLIS MN 55412

88 18-119-21 22 0109  
RAINS PROPERTIES LLC  
624 CENTRAL AVE  
OSSEO MN 55369

88 18-119-21 22 0148  
KAREN R BRODEN  
600 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0150  
APARTMENTS ON 1ST LLC  
6909 WINNETKA AVE N  
BROOKLYN PARK MN 55428

88 18-119-21 22 0152  
REALIFE COOPERATIVE OF OSSEO  
12 6TH ST N E  
OSSEO MN 55369