



**AGENDA – REGULAR MEETING**  
**6:00 p.m., March 19, 2018**

**Planning Commission**

- 1. CALL TO ORDER**
- 2. ROLL CALL (Quorum is 4)**
- 3. APPROVAL OF AGENDA (Unanimous additions required)**
- 4. APPROVAL OF MINUTES (Unanimous additions required)**
  - A. Planning Commission Minutes of November 20, 2017
- 5. PUBLIC COMMENTS**
- 6. PUBLIC HEARINGS**
  - A. Consider Variance and Site Plan Approval for 617 North Oaks Drive
  - B. Consider Site Plan Approval for 340 Central Avenue
- 7. OLD BUSINESS**
  - A. Consider Updates to Proposed Sign Ordinance Regarding Feather Banners
- 8. NEW BUSINESS**
  - A. Consider Landscape Plan Modifications for 108 Broadway Street West
- 9. REPORTS OR COMMENTS: Staff, Chair, & Commission Members**
- 10. ADJOURNMENT**



**OSSEO PLANNING COMMISSION MINUTES  
REGULAR MEETING  
November 20, 2017**

**4 A**

**1. CALL TO ORDER**

The regular meeting of the Osseo Planning Commission was called to order by Vice Chair Webster at 6:00 pm, Monday, November 20, 2017.

**2. ROLL CALL**

Present: Commission members Dee Bonn, Deanna Burke, Michael Corbett, Neil Lynch, Michael Olkives, and Alden Webster

Absent: Chair Barbara Plzak.

Others present: Harold E. Johnson, Jeff Hafferman, Jesse Myhre, Matthew Feehan, Timothy LaCroix, Dan LaRouche, Breanne Rothstein, Olivia Dorow-Hovland, City Planner Nancy Abts

**3. APPROVAL OF AGENDA**

**A motion was made by Bonn, seconded by Burke, to approve the Agenda as presented. The motion carried 6-0.**

**4. APPROVAL OF MINUTES**

A. Approve October 16, 2017, Minutes

**A motion was made by Olkives, seconded by Bonn, to approve the October 16, 2017, minutes. The motion carried 6-0.**

**5. PUBLIC COMMENTS**

Vice Chair Webster advised this is the time for public comments for items that are not on the agenda for tonight's meeting. There were no comments from the public.

**6. PUBLIC HEARINGS**

A. Consider Conditional Use Permit Amendment for 401 County Road 81

Abts stated Jesse Myhre has operated JM Automotive in Osseo since 2015. Their business has grown and transitioned from 'primarily auto sales with some repairs' to solely a repair shop. The business specializes in Subaru vehicles. The property is located on County Road 81 Service Road West. Adjacent businesses are Twin Cities Pawn, Avis Car Rental, and Pioneer Midwest located in the building to the southeast, and All Metro Excavating located in the building to the northwest. The property is owned by Dan Koehler, and is also home to a self-serve car wash.

Abts explained for an automotive repair garage space and two repair bays, the minimum number of customer parking per the Osseo off-street parking ordinance is 8 spaces. (The minimum number of parking spaces includes a base number of 4, plus 2 spaces for each service bay.) The plans for the property show a total of 16 parking spots, with two required



for the self-serve car wash business (calculated as an industrial use). Staff recommends that the 8 customer parking spaces for the business be placed close to the office/customer waiting area inside the existing building.

Abts reported for businesses with auto sales, all vehicle repair and maintenance must take place within a completely enclosed building. (The City Code does not place this same requirement on general auto repair. However, the CUP can address it as outside activities affect nearby properties.) Repaired vehicles or vehicles waiting to be repaired shall be considered storage and must be within a screened or an enclosed area, per Osseo City Code. The proposed conditions state that any repairs or maintenance will be conducted inside, completely enclosed, and vehicles on site for longer than 12 hours awaiting repairs will be stored inside or screened from public view. Other facets of this proposal have been reviewed by City Staff and found to be acceptable for this property and zoning district. Staff provided further comment on the request and recommended approval with conditions.

Lynch asked if the test drive condition should be omitted. Abts stated the condition was drafted in order to keep this CUP consistent with other CUP's in the City.

Olkives questioned how the City would be able to enforce this condition. He indicated he opposed the City creating conditions that would be difficult to enforce. He supported the Commission eliminating Condition 2.

Lynch recommended Condition 5F be removed as it was onerous. Abts reported Condition 5 and the letters that followed referred to applicable provisions, which included State, County and local requirements.

**A motion was made by Lynch, seconded by Bonn, to open the Public Hearing. The motion carried 6-0.**

Lynch asked if the applicant opposed any of the conditions within the amended CUP. Jesse Myhre, 9931 Ives Lane North in Maple Grove, stated his only concern was with the parking requirements. He explained that at times vehicles required to be parked on the lot for more than 12 hours. He indicated he did not oppose provisions 5A through 5F. He understood the benefit to the City of being able to consider some requirements as part of a CUP, rather than a fine or other penalty which may be imposed by other agencies.

Webster inquired how long vehicles could be parked on his property. Mr. Myhre explained vehicles could be parked anywhere from 24 hours to one week depending on the type of machine work that was required. He reported he does his best to turn cars around quickly but some require specialty work.

Abts questioned if the parking area could be screened with a fence. Mr. Myhre reported he has had several break-ins and for this reason his parking lot was now well lit with cameras. He stated he had discussed adding a fence with the property owner.

Corbett asked why the City had a 12-hour timeline for vehicles. Abts explained after 12 hours a parked car was deemed to be vehicle storage per the draft CUP.



Corbett commented it would be in the applicant's best interest to deter against theft. He questioned how many cars could be parked indoors. Mr. Myhre stated he could park four to six vehicles in the shop. He provided further comment on the new lighting and cameras that had been installed on his property.

Bonn questioned how the Commission should address the 12-hour parking concern. Abts stated City Code does not define time periods for outdoor storage and for this reason a change could be made to the time period within the CUP. Mr. Myhre requested the Commission allow for a small number of parking spaces to be used for longer parking for customer cars.

Lynch supported the City make the parking period longer or removing Condition 1 altogether. Mr. Myhre suggested only vehicles with all exterior panels be allowed to be parked outdoors.

Olkives appreciated the fact that Mr. Myhre was not parking junk cars on his lot.

Lynch questioned if the applicant supported Condition 2. Mr. Myhre stated he did support this condition and noted test drives were not completed in residential neighborhoods.

**A motion was made by Lynch, seconded by Olkives, to close the public hearing at 6:25 p.m. The motion carried 6-0.**

**A motion was made by Lynch, seconded by Burke, to recommend the City Council approve the CUP request to allow minor auto repair at 401 County Road 81, subject to the conditions listed below.**

- 1) Vehicle Storage. Any vehicle awaiting repairs for longer than 30 days must be stored inside an enclosed space or screened from public view;**
- 2) Test Drives. Vehicles undergoing repair or maintenance at the property may not be driven through residential districts.**
- 3) Indoor Operations. Any vehicle repair or maintenance shall take place indoors.**
- 4) Parking. At least four clearly marked parking spaces, plus two additional parking spaces for each service stall, shall be provided at all times (Osseo City Code Chapter 153 Appendix B). No parking or idling of vehicles is allowed outside of clearly marked parking spaces.**
- 5) Applicable Provisions. This permit is subject to the requirements of the City's ordinances and the Applicant is required to comply with all applicable federal, state, and local laws, rules, regulations, and ordinances, and to obtain such other permits and permissions as may be required. Local and state regulations and ordinances shall include but are not limited to the following:**
  - a) No auto wrecking, junk, and salvage shall be stored on properties in the C2-S District, per Osseo City Code;**
  - b) Any waste tires must be stored inside an enclosed space or screened from public view (Osseo City Code § 153.054) and protected from the elements so as not to provide habitat to rodents or insects (Osseo City Code § 93.18);**



- c) Any trash enclosure must be screened from public view (Osseo City Code § 153.057);
  - d) Modifications to the building shall be in accordance with Osseo City Code and the approved site and building plan on file with the City (Osseo City Code § 153.153);
  - e) Signage relating to the use shall adhere to Osseo City Code § 153.090 - § 153.098;
  - f) If the facility generates any hazardous waste as defined by Hennepin County or the State of Minnesota, the facility shall at all times meet all requirements imposed by Hennepin County or the State of Minnesota;
- 6) **Open to Inspection.** During any hours at which the business is open, the business shall be open to any State or County official and to any City official or police officer, when accompanied by Applicant, for inspection to determine compliance with the stated conditions of approval.
  - 7) **Recording Requirement.** The City of Osseo will memorialize the conditional use permit by adopting a resolution that the applicant will record in the office of the County Registrar of Titles within 60 days of its adoption by the City.
  - 8) **No Waiver.** Failure by the City to take action with respect to any violation of any condition, covenant, or term of this permit shall not be deemed to be a waiver of such condition, covenant, or term or any subsequent violation of the same or any other condition, covenant, or term.
  - 9) **Prior Permits.** The conditional use permit issued in 2015 (Resolution 2015-6) and any other conditional use permits issued for the property are hereby revoked and are replaced by this current conditional use permit. The City Council will memorialize the revocation of the previous CUP by adopting a resolution that will be recorded in the office of the County Registrar or Titles, which will serve as additional notice of such revocation.
  - 10) **Revocation.** The violation of any terms or conditions of this permit including, but not limited to, any applicable federal, state, or local laws, rules, regulations, and ordinances, may result in revocation of the permit. The Applicant shall be given written notice of any violation and reasonable time, as determined by the City, to cure the violation before a revocation of the permit may occur.
  - 11) **Binding Effect.** This permit and its conditions are binding on the Owner and Applicant, their successors and assigns, and shall run with the Property, and shall not in any way be affected by the subsequent sale, lease, or other change from current ownership, until the permit is terminated or revoked as provided herein. The obligations of the Applicant under this permit shall also be the obligations of the current and any subsequent owners of the Property.
  - 12) **Acceptance of Conditions.** Utilization of the Property for any of the uses allowed by this permit shall automatically be deemed acceptance of, and agreement to, the terms and conditions of the permit without qualification, reservation, or exception.

**The motion carried 6-0.**

B. Consider Conditional Use Permit for 8725 Jefferson Highway



Abts stated According to their website, American Auto Body had been in operation since 1979. The business relocated from North Minneapolis to Osseo in 1980. Later, it moved just south of Osseo to 8208 Lakeland Avenue North in Brooklyn Park in 1994. The business is growing and intends to use the property at 8725 Jefferson Highway for overflow work and storage. They will keep their primary location in Brooklyn Park.

Abts explained the subject property is located on Jefferson Highway. Adjacent businesses are Spotless & Seamless Exteriors Inc. to the west. A Hennepin County Department of Transportation facility is to the north. A multi-tenant light industrial property managed by Wiley Enterprises is to the south. The property is being purchased by American Auto Body. Prior to the sale it was the location for Zimmerman Brothers Trucking. The property to the west is a “landlocked” parcel with no direct access to public roads. There is a partial easement across 8725 Jefferson Highway to provide a connection to the road. However, as shown on the survey, there are some issues with the easement. The property owner is addressing these matters. Staff discussed the request in further detail and recommended approval with conditions.

Lynch asked if the conditions for this CUP differed from the conditions considered for Item 6A. Abts reported this property was located in a different zoning district which allowed for auto wrecking and salvage as a possible future Conditional Use. Other than that, all remaining conditions were similar.

**A motion was made by Olkives, seconded by Bonn, to open the Public Hearing. The motion carried 6-0.**

Olkives requested further information regarding the easement issue. Matthew Feehan, 1036 Etna Avenue NE in Monticello, discussed his existing plan and noted the two buildings on the two properties were aligned with one another. He stated if he were to restrict the building behind him he would not be able to get into his own building. He explained his parking lot was in poor condition. He stated he would be correcting this next spring, which would improve the site.

Tim LaCroix, attorney for Matthew Feehan, reported there was an issue with the legal description for the easement. He reported there was a minor gap between the properties and a correction to the legal description has been made.

Olkives asked if the applicant had any concerns with the conditions within the CUP. Mr. Feehan stated he had no issues with the conditions. He indicated he was excited to moving his business back to Osseo. He provided further comment on the work he would be completing at this site.

Corbett questioned how many employees this facility would have. Mr. Feehan anticipated he would have about four employees in this location.

Bonn inquired if neighboring properties would be impacted by the paint booth ventilation. Mr. Feehan explained the paint booth would have a specific filtration system to ensure neighboring properties were not impacted.

**A motion was made by Corbett, seconded by Burke, to close the public hearing at 6:41 p.m. The motion carried 6-0.**



**A motion was made by Lynch, seconded by Olkives, to recommend the City Council approve the CUP request to allow for the storage and repair of vehicles at 8725 Jefferson Highway, subject to the conditions listed below.**

- 1) Vehicle Storage.** Any vehicle awaiting repairs for longer than 30 days must be stored inside an enclosed space or properly screened from public view;
- 2) Test Drives.** Vehicles undergoing repair or maintenance at the property may not be driven through residential districts.
- 3) Indoor Operations.** Any vehicle repair or maintenance shall take place indoors.
- 4) Parking.** At least four clearly marked parking spaces, plus two additional parking spaces for each service stall, shall be provided at all times (Osseo City Code Chapter 153 Appendix B). No parking or idling of vehicles is allowed outside of clearly marked parking spaces.
- 5) Applicable Provisions.** This permit is subject to the requirements of the City's ordinances and the Applicant is required to comply with all applicable federal, state, and local laws, rules, regulations, and ordinances, and to obtain such other permits and permissions as may be required. Local and state regulations and ordinances shall include but are not limited to the following:
  - a) No auto wrecking, junk, and salvage shall be stored without a Conditional Use Permit approving this use (Osseo City Code § 153.059);**
  - b) Any waste tires must be stored inside an enclosed space or properly screened from public view (Osseo City Code § 153.054) and protected from the elements so as not to provide habitat to rodents or insects (Osseo City Code § 93.18);**
  - c) Any trash enclosure must be screened from public view (Osseo City Code § 153.057);**
  - d) Modifications to the building shall be in accordance with Osseo City Code and the approved site and building plan on file with the City (Osseo City Code § 153.153);**
  - e) Signage relating to the use shall adhere to Osseo City Code § 153.090 - § 153.098;**
  - f) If the facility generates any hazardous waste as defined by Hennepin County or the State of Minnesota, the facility shall at all times meet all requirements imposed by Hennepin County or the State of Minnesota;**
- 6) Open to Inspection.** During any hours at which the business is open, the business shall be open to any State or County official and to any City official or police officer, when accompanied by Applicant, for inspection to determine compliance with the stated conditions of approval.
- 7) Recording Requirement.** The City of Osseo will memorialize the conditional use permit by adopting a resolution that the applicant will record in the office of the County Registrar of Titles within 60 days of its adoption by the City.
- 8) No Waiver.** Failure by the City to take action with respect to any violation of any condition, covenant, or term of this permit shall not be deemed to be a waiver of such condition, covenant, or term or any subsequent violation of the same or any other condition, covenant, or term.



- 9) **Revocation.** The violation of any terms or conditions of this permit including, but not limited to, any applicable federal, state, or local laws, rules, regulations, and ordinances, may result in revocation of the permit. The Applicant shall be given written notice of any violation and reasonable time, as determined by the City, to cure the violation before a revocation of the permit may occur.
- 10) **Binding Effect.** This permit and its conditions are binding on the Owner and Applicant, their successors and assigns, and shall run with the Property, and shall not in any way be affected by the subsequent sale, lease, or other change from current ownership, until the permit is terminated or revoked as provided herein. The obligations of the Applicant under this permit shall also be the obligations of the current and any subsequent owners of the Property.
- 11) **Acceptance of Conditions.** Utilization of the Property for any of the uses allowed by this permit shall automatically be deemed acceptance of, and agreement to, the terms and conditions of the permit without qualification, reservation, or exception.

Lynch recommended the Planning Commission remain consistent with the parking restrictions in Condition 1. The Commission was in agreement.

**The motion carried 6-0.**

C. Consider 2040 Comprehensive Plan

Abts stated each community in the 7-county Metro region must update its Comprehensive Plan every 10 years. Osseo is on track complete its update by early 2018 to meet the Met Council's deadlines. These deadlines are required for grant funding the city has received. As the name suggests, the Comprehensive Plan addresses many topics. The Plan guides future development and helps the community get from 'where we are' to 'where we want to be'. The plan covers topics including:

- Land use
- Redevelopment
- Housing quality
- Park and recreation systems
- Community facilities
- Commercial and economic development
- Community infrastructure systems
- Surface water management, and
- Transit and transportation.

Abts reported the Comprehensive Plan serves as the framework for many city policies. This includes the city's including zoning and land use as well as other priorities. This update to the plan also highlights components that influence public health. These parts of the plan were funded through a grant from the Minnesota Department of Health, administered through Active Living Hennepin County.

Breanne Rothstein, WSB, provided the Commission with a presentation on the executive summary for the Comprehensive Plan. The six vision themes for the Comprehensive Plan were discussed. She reported Osseo would work to be accommodating, to have community



vitality, be business friendly, to promote safety and wellbeing, provide housing diversity, and remain connected. She asked for comments or questions from the Commission.

Olkives explained he served on the Comprehensive Plan task force. He stated he appreciated the efforts of staff and the committee members. He asked what steps would need to be taken in order to approve the Comprehensive Plan. Ms. Rothstein reported the City Council would need to grant preliminary approval. The document would then be submitted to the Met Council and a six-month adjacent and affected community review process would occur. She indicated comments from Met Council and neighboring communities would then be incorporated into the document and the document would be brought back to the Council for final approval. She stated final approval of the Comprehensive Plan was due by December 31, 2018.

**A motion was made by Olkives, seconded by Webster, to open the Public Hearing. The motion carried 6-0.**

Dan LaRouche, Osseo EDA member, stated he moved to Osseo two years ago from Michigan. He explained he had no intention of winding up in Minneapolis, but here he was. He discussed his work background with Chrysler and commented on how important it was for the City to plan ahead. He stated he appreciated how comprehensive the document was but believed it was missing future possibilities. He encouraged the City to consider what storms it may weather. He provided the Commission with a handout on concerns that could be considered.

**A motion was made by Lynch, seconded by Olkives, to close the public hearing at 7:17 p.m. The motion carried 6-0.**

Olkives thanked Mr. LaRouche for bringing his comments and concerns to the Planning Commission.

**A motion was made by Olkives, seconded by Bonn, to approve the draft Comprehensive Plan Update as presented. The motion carried 5-1 (Lynch opposed).**

## 7. OLD BUSINESS

### A. Consider Updates to Proposed Sign Ordinance Regarding Feather Banners

Abts explained the Planning Commission considered proposed amendments to the city's Sign Ordinance on July 17, 2017. Following a public hearing, the commission recommended the City Council approve the proposed amendments. The City Council discussed the proposed ordinance at their July 24 meeting and again at a work session held on December 30. At that work session, the Council proposed allowing Feather Banners, in addition to other changes to the ordinance.

Abts commented other changes suggested by the City Council include changes to the requirements for existing types of signs, including allowing Electronic Message Display centers in the Central Business District, allowing overhang signs in all districts, and allowing small flashing or animated signs (for example, "Open" signs).



Abts stated Feather Banners would generally be restricted under a prohibition on signs that “moves or rotates”. However, they can be granted an exception, like other types of signs. For example, Sandwich Board signs are allowed to be placed in the sidewalk right-of-way under certain conditions.

Abts reported the current suggestion for feather banners would allow them up to 28 square feet (e.g., 4’ x 7’) and up to the maximum height for signs in the district (i.e., 8’ in the CBD and 15’ in C2 and M districts). They would be allowed at a rate of one per property or one per 100 linear feet of front foot, whichever is greater. Some cities also choose regulate the hours or number of days that these signs can be displayed. Osseo could consider these types of restrictions as well.

Lynch commented on the flags that were posted by the Meditation Center. He explained he was not offended by them and asked how the proposed spacing was determined. Abts discussed how the sign spacing and front footage numbers was determined by staff. She reported staff was simply making a recommendation to the Commission and noted the City Council would have the final say.

Corbett questioned if feather signs had to be installed in grass. Abts commented these signs could also be supported by a freestanding base and did not have to be planted in the ground.

Olkives stated he did not want to see the signs restricted completely. Abts did not recommend signs be freely allowed in the right-of-way for safety purposes. She provided further comment on how the City may manage banner signs. She reported the signs would have to remain in good condition.

Lynch asked if a study had been completed on how many banner signs it would take to deem a property distracting. He anticipated that a study of this sort had not been conducted. He stated he was struggling with the fact the local government was going to arbitrate what number of banner signs would be allowed. He supported the number of signs allowed be increased. Abts explained there have been a number of studies completed on moving and electric signs. She stated she could complete further research to see if any studies had been completed specifically on feather banners. She commented on the multiple goals within a Sign Ordinance as being traffic safety, aesthetics and the visual environment of the City.

Corbett stated feather banners have become quite popular with real estate and open houses. He explained he did not want to see a large number of feather banners in downtown Osseo. He commented on how Main Street would be impacted if there were feather banners every 100 feet.

Olkives indicated he did not know what the correct number of banners should be. He stated he did not want the banners being placed in public walk ways but supported them being allowed in Osseo.

**A motion was made by Olkives to approve the proposed restrictions for Feather Banners as presented. The motion failed for lack of a second.**



**A motion was made by Lynch, seconded by Burke, to table action on the proposed restrictions for Feather Banners directing staff to gather further information. The motion carried 6-0.**

Further discussion ensued regarding the difference between flags and feather banners. The commission did not present any further questions to be addressed at a future meeting.

8. NEW BUSINESS

None.

9. REPORTS OR COMMENTS: Staff, Chair & Commission Members

Burke wished everyone a Happy Thanksgiving.

Corbett encouraged the City to plan for the changing trends in housing while also still making room for young families with children.

Lynch suggested those grocery shopping for Thanksgiving visit the Cub in order to support the Osseo Baseball team as they would be bagging groceries this week.

Webster encouraged the public to offer their thanks to the City's police officers and fireman.

10. ADJOURNMENT

**A motion was made by Bonn, seconded by Lynch, to adjourn the meeting at 7:42 pm. The motion carried 6-0.**

Respectfully submitted,

Heidi Guenther  
*TimeSaver Off Site Secretarial, Inc.*





## Osseo Planning Commission Meeting Item

**Agenda Item:** Consider Variance and Site Plan Approval for 617 North Oaks Drive

**Meeting Date:** March 19, 2018

**Prepared by:** Nancy Abts, City Planner

**Attachments:**

- Variance Application
- Site Plan Application
- Acknowledgement of Responsibility
- Narrative
- Drawing Set
- SAC Determination
- Zoning Map
- Public Hearing Notice
- Public Hearing Distribution Map & Mailing Labels
- Site photos

**Policy Consideration:**

The new owner of 617 North Oaks Drive seeks a variance and site plan approval to construct a 12-foot tall, 980-square-foot freestanding accessory structure to use as an office building and workout space for the apartment complex.

**Previous Action or Discussion:**

The Planning Commission has not previously discussed this item.

**Background:**

The property is located in the northeast quadrant of Osseo, east of 6<sup>th</sup> Avenue Northeast and south of 93<sup>rd</sup> Avenue / County Road 30. The 617 North Oaks Drive site holds two freestanding apartment buildings and two private garage buildings. Two other parcels, 625 and 624 North Oaks Drive, are under the same ownership and management. Previously known as Countryside Estates, the properties are now collectively called 6<sup>th</sup> Avenue Apartments.

**Analysis for Granting a Variance**

**Zoning:**

The property at 617 North Oaks Drive is in the R-2, Multi-Family Residential District. To the east, single family homes are located in the R-1 One and Two Family Residential District. To the immediate west and south, there similar R-2 apartments in the North Oaks Apartments. St. Vincent de Paul Cemetery (zoned R-1) is further east, and the Osseo Education Center (also zoned R-1) is further south.



**Standards for Granting a Variance**<sup>1</sup>: The City reviews variances based on standards listed in the Zoning Ordinance and in State Statute. Some of the standards are open to interpretation.

Variances may only be permitted when they are in harmony with the general purposes and intent of the zoning ordinance, and when the variances are consistent with the comprehensive plan. Here are the general factors to consider regarding a variance:

#### *General Intent*

Variances should be granted in harmony with general purposes and intent of the zoning ordinance. The stated intent of the R-2 High-Density Residential District is, “To recognize the demand for apartment, condominium, and multiple-family dwellings; to provide for these apartments upon fairly sizable tracts of land, thereby allowing increased design flexibility and a more compatible development pattern; and to permit these apartments at densities high enough to allow high quality development yet low enough to provide a desirable living environment for residents.” In this case:

- The variance for accessory structure size would grant increased design flexibility for the property.
- Allowing an exception to the requirement to add curb and gutter to the parking area would not seem to conflict with the intent for the district.

#### *Comprehensive Plan*

The current 2030 Comprehensive Plan guides this area for Stacked Residential uses. The plan guides the area for apartments two to four stories tall and a density of at least 16 units per acre. It is expected to expand housing options for people interested in living in a walkable environment and increase the local customer base for the downtown area.

With 2.2 acres and a total of 40 units, the 617 North Oaks Drive parcel has a density of approximately 18 units per acre. There are no sidewalks along 6<sup>th</sup> Avenue NE or along the south side of 93<sup>rd</sup> Avenue near the project site. In this case:

- The variance does not seem to conflict with the Comprehensive Plan guidance for the site. The site density is already above the minimum for the guidance. Updates to the site plan could enhance the property’s walkability and further support the guidance.
- Allowing an exception to the requirement to add curb and gutter to the parking area would not seem to conflict with the guidance for the district.

#### *Practical Difficulties Test*

A variance may be granted if enforcing a zoning ordinance provision would cause the owner of a particular piece of property “practical difficulties”. (The legal standard of “practical difficulties” comes from state law adopted in 2011. It supersedes the “undue hardship” test that previously applied. Osseo City Code still refers to the old standard of “undue hardship”.) There are three components of the Practical Difficulties test:

##### *A. Reasonableness*

The property owner must propose to use the property in a reasonable way, a way that is somehow prohibited by the current ordinance. In this case:

- Providing office and workout space for residents of the apartment campus seems to be a reasonable use. Housing this space in an accessory building allows all residential units to be retained, and maintains the site’s current density.
- In this instance, the parking lot has been in place without curb and gutter for many years. The City Engineer suggests that because site was not developed with a ‘directed’ drainage

---

<sup>1</sup> League of Minnesota Cities. (2017, November 15). Resource Library. Retrieved from League of Minnesota Cities: <https://www.lmc.org/media/document/1/landusevariances.pdf>



system provided by curb and gutter, it is reasonable to continue to allow the site to drain without their addition. Some water can continue to flow off of the parking surface and into the lawns for infiltration rather than all of it being directed to the area's stormwater system.

B. *Uniqueness*

The landowner's problem must be due to circumstances unique to the property and not caused by the current landowner. Often, but not always, uniqueness relates to unique physical aspects of the property such as topography, existing wetlands, or significant trees. In this case:

- The current owner purchased a multi-building apartment campus without an existing office or workout space. Many newer apartment complexes in Osseo include this space inside the primary structure, making this an atypical situation.
- The addition of curb and gutter would have drainage impacts for the broader region. These impacts are influenced by the way the area was developed, not by the current property owner.

C. *Essential Character*

It is also important to determine that the variance, if granted, would not change the essential character of the area. Features to consider regarding essential character might include scale, setbacks, building size, and use patterns. In this case:

- The proposed accessory building is shorter and smaller than the size allowed for private garages. It is consistent with setbacks for other buildings in the district. Its materials and scale are consistent with other buildings in the North Oaks area and with other residential areas of Osseo.
- Continuing to allow the parking lot to drain without curb and gutter would not seem to alter the essential character of the area.

If the City finds that the project meets the statutory requirements for a variance, it may choose to grant the property an exception to the zoning code requirements.

**Analysis for a Site Plan Approval**

As a reminder on what Site Plan approval consists of, Osseo Code **§153.153 SITE PLAN APPROVAL** explains the following:

(A) Site and Building Plan Approval Required. It is declared to be the policy of the city to preserve and promote attractive and stable business environments for its citizens through encouraging well-conceived, high quality developments. To this end, imaginative site design concepts shall be employed in the development and redevelopment of respective sites. ... this site plan approval process applies to all new construction in the ... the High-Density Residential District (R-2), ... that involves one or more of the following:

- (1) New construction;
- (2) Construction or reconstruction that substantially alters the floor area of the building greater than or equal to 10%;
- (3) Construction or reconstruction involving modification or replacement of the exterior materials on the building; or
- (4) Construction or reconstruction to change the configuration of the parking area.

Because this project involves new construction and construction of a parking area, a site plan approval is required.

**Setbacks**

The R-2 Zone setbacks include a 35' front yard setback (measured from the street where the property is addressed) and 10' setbacks for interior side and rear yards. The proposed new development satisfies the zoning setbacks.



**Parking:** Adequate parking is provided for the facility and is indicated on the site plan.

**Access:** The building site is accessible from 6<sup>th</sup> Avenue NE and North Oaks Drive. The proposed new construction will not restrict access. However, the office is intended to serve residents and prospective residents of the 6<sup>th</sup> Avenue Apartments. Although the building entry is oriented to 6<sup>th</sup> Avenue, primary access is shown from the parking lot off of North Oaks Drive. Staff recommend adding a sidewalk to the front entry from 6<sup>th</sup> Avenue to serve prospective residents and to improve overall walkability. Additional signage may also help prospective residents find the office.

**Landscaping and Green Space:** Landscaping minimums in the R-2 District address newly-platted lots. For a property with 2+ bedroom units in the R-2 District, the Maximum Impervious Surface coverage is 60 percent. This property falls below that maximum area. Because the property is not at its maximum area for impervious surfaces, staff recommend taking the opportunity to add a sidewalk to connect the office building to 6<sup>th</sup> Avenue NE to improve walkability.

**Storm Drainage:** Because the project involves less than 0.5 acres of site disturbance, the project is not required to obtain a permit from the West Mississippi Watershed Management Organization. As presented, the project will involve adding about 2,600 net square feet of impervious area—the total impervious area for the new building and parking stalls is around 18,700 square feet, but the pool and pool deck provided just over 16,000 square feet of impervious area.

After consulting with the City Engineer, there are no concerns for Storm Drainage provisions beyond what is included in the application. Because the proposed infiltration basin receive relatively little runoff from hard surface areas, the City Engineer has also suggested replacing this area with grass. This change should provide similar water quality benefits. Adding additional deciduous trees could further improve stormwater uptake while beautifying the property and maintaining visual access. These trees could be used to provide additional shade for the picnic area.

**Utilities:** After consulting with the Public Works Department and the City Engineer, there are no concerns for Utility provisions additional to what is included in the application. According to the city's 2018 Capital Improvement Planning map, North Oaks Drive is being considered as a future street project area. That future project may include upgrades to public utilities, as needed.

**Exterior Materials:** The exterior finishes are permitted by City Code. The building appearance is consistent with other buildings in the district and surrounding residential areas.

**Trash Enclosures:** Though noted on the site plan, the drawings do not show the existing dumpster enclosure on the property. However, it is properly screened from the street abutting the property. The applicant does not propose any alterations to outdoor storage or trash locations.

**Lighting:** Exterior lighting is shown in the drawings above the main office entrance only. However, following a recommendation from staff, the applicant has agreed to add lighting on all sides of the new building. This should improve public safety in the area as well as residents' ability to use the facility in the dark winter months.

**Signage:** No new signage is specified. However, adding signage to the front of the office could help prospective tenants locate the building.

#### **Period of Approval**

According to City Code, "An approved Site and Building Plan shall lapse and become null and void one year following the date on which the application was approved, unless prior to the expiration of one year, the Building Official issues a building permit and construction is commenced toward completion on the subject site. A Site and Building Plan may be renewed for a period of one year by the City Council."



## Recommended Conditions of Site-Building Plan Approval

1. The improvements shall match the site plan submitted for approval by the City Council;
2. If not included in the City Council Approval, an updated lighting plan shall be submitted and approved by staff prior to issuance of any building or grading permits;
3. If not included in the City Council Approval, an updated landscaping plan shall be submitted and approved by staff and may include two deciduous trees in lieu of the infiltration basin;
4. Any necessary payment for SAC charges must be made prior to issuance of any building permits;
5. The applicant shall obtain all necessary building and sign permits and pay all fees related to the proposed improvements;
6. Weeds and other vegetation shall be maintained at all times in accordance with Chapter 93.38 of the City Code;
7. All trash shall be stored within a properly-screened enclosure.
8. The site plan will be valid for one year following the date of approval, unless work begins toward completion within one year or the approval is renewed for a period of one year by the City Council.

### Budget or Other Considerations:

The \$500 application fee is intended to cover in-house staff costs for reviewing the application. Additional engineering and legal costs may be billed to the applicant.

Following receipt of a complete application packet, the City has 60 days to issue a decision on a zoning request. Payment for the Site Plan approval request was received on February 15. Payment for the Variance request was received on February 21. A final decision on the Site Plan should be issued by April 16, and a final decision on the Variance should be issued by April 22. The deadline can be extended by the City by up to 60 days, if more time is needed.

### City Goals Met By This Action:

Develop and implement the Comprehensive Plan Update

Increase communication with citizens and encourage citizen engagement

Promote a healthy and high quality standard of living

Plan and provide for safe and quality housing options

### Procedures:

The Planning Commission should make a motion, second, and vote to open the Public Hearing. After members of the public have had an opportunity speak and any written comments have been entered into the record, the Planning Commission should make a motion, second, and vote to close the Public Hearing.

Following the Public Hearing, the Planning Commission should vote on two recommendations to the City Council. One recommendation will deal with the variance, and one will deal with the Site Plan Approval.

### Options:

#### **Regarding the Variance Request**

The Planning Commission may choose to ***make the following recommendation*** to the City Council:

1. Approve the variance request;
2. Approve the variance request with noted changes/as amended;
3. Deny the variance request;
4. Table action on this item for more information.

#### **Regarding the Site-Building Plan Approval Request**

The Planning Commission may choose to ***make the following recommendation*** to the City Council:

1. Approve the site-building plan, subject to the listed conditions of approval;
2. Approve the site-building plan, with noted changes/as amended;
3. Deny the site-building plan;
4. Table action on this item for more information.



**Recommendation/Action Requested:**

Regarding the Variance request, Staff recommends the Planning Commission choose option (1) Approve the variance request.

Regarding the Site-Building Plan Approval request, Staff recommends the Planning Commission choose option (1) Approve the site-building plan, subject to the listed conditions of approval.

**Next Step:**

The items will be placed on a subsequent City Council meeting for consideration and approval.



**CITY OF OSSEO**

415 Central Avenue, Osseo, MN 55369

Phone 763.425.2624

Fax 763.425.1111

**Application For:**

Variance for

Residential ☒Commercial ☐Sign ☐**Property Information:**Site address: 617 NORTH OAKS DR.Property identification number: 1811921210075Current zoning: R-2 Property size (square footage): 95,957 sq.ft.Description of request: VARIANCE FOR THE MAXIMUM HEIGHT  
AND MAXIMUM AREA OF AN ACCESSORY BUILDINGReason for request (list the practical difficulties of your request – attach more if necessary): SEE NARRATIVE**Applicant Information:**Name: 6TH ST. APTS. LLC Daytime phone: 763.535.5831Address: 6909 WINNETKA AVEN. BROOKLYN PARK, MN 55428

*Applicant agrees to reimburse the City of all legal and/or engineering costs incurred by the City, provide 15 copies (11x17) of site plan/drawings/survey for submittal, and pay any additional water and/or sewer assessments that may be due pending a check of City records.*

Signature: [Signature] Date: 2/9/18**Property Owner Information:**Name: 6TH ST. APTS. LLC Daytime phone: 763.535.5831Address: 6909 WINNETKA AVE N. BROOKLYN PARK, MN 55428Signature: [Signature] Date: 2/9/18

*The City of Osseo requires that the Property Owner sign and date all land use applications. Applications will not be accepted unless the Property Owner has signed the application.*



.....  
*For City use only:*

Receipt number: check # 10694 Date received: 2/21/18 (\$500 Application Fee)

Any other fees? not @ this time Received by: CVS #555

Notice to press date: March 1 Press publication date: March 8

Scheduled Planning Commission date: March 19

Scheduled City Council date: March 26





Application For:  
Site and Building Plan Review

415 Central Avenue, Osseo, MN 55369  
Phone 763.425.2624  
Fax 763.425.1111

*Information provided may be considered public data pursuant to data practices law and the City will comply with all applicable laws if the information is subject to a data request.*

Property Information:

Site address: 617 NORTH OAKS DR.

Property identification number: 1811921210075

Property legal description: Lot: 002 Block: 002 Tract/Addition: NORTH OAKS

Property type (check one): Abstract: \_\_\_\_\_ Torrens: ☒

Description of request: SITE AND BUILDING PLAN REVIEW

Reason for request: PROPOSED 980 SQ. FT. ONE-STORY  
ACCESSORY BUILDING (OFFICE & EXERCISE) FOR APARTMENT CAMPUS.

Applicant Information:

Name: 6TH ST. APTS, LLC Daytime phone: 763.535.5831

Address: 6109 WINNETKA AVE. N. Email Address: JASON@QTCOMMERCIAL.COM  
BROOKLYN PARK, MN 55428

Applicant agrees to reimburse the City of all legal and/or engineering costs incurred by the City, provide 15 copies (11x17) of site plan/drawings/survey for submittal, and pay any additional water and/or sewer assessments that may be due pending a check of City records.

If request is granted, applicant agrees to *proceed with the actual construction* in accordance with the plans here with submitted *within six (6) months* from date of filing this application and will complete construction within one (1) year of said date; and is able from a financial, legal, and physical basis to do so.

Signature: [Signature] Date: 2/9/18



**Property Owner Information:**

Name: 6TH ST. APTS. LLC Daytime phone: 763.535.5831

Address: 6909 WINNETKA AVE N. Email Address: JASONE@TCOMMERCIAL.COM  
BROOKLYN PARK MN 55428

Signature: [Signature] Date: 2/9/18

*The City of Osseo requires that the Property Owner sign and date all land use applications. Applications will not be accepted unless the Property Owner has signed the application.*

.....  
**For City use only:**

Receipt number: Check #10688 Date received: 2/15/17 (\$500 Application Fee)

Any other fees? Variance Needed Received by: USA Lots

Notice to press date: March 1 Press publication date: March 8

Scheduled Planning Commission date: March 19

Scheduled City Council date: March 26





415 Central Avenue  
Osseo, MN 55369  
Phone 763.425.2624  
Fax 763.425.1111

### ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am the party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I will keep myself informed of the deadlines for submission of material and of the progress of this application.

I further understand that additional fees incurred by the City such as engineering or legal costs will be my responsibility.

I agree to allow access by City personnel to the property for purposes of review of my application and to erect a temporary sign indicating the application proposed.

Date

2/9/18

Signature of Applicant

Name and Address of Applicant  
(Please Print)

6TH ST. APTS. LLC

JASON QUILLING

6909 WINNETKA AVE. N.

Phone Number

BROOKLYN PARK, MN 55428

Email Address

763.535.5831

JASON@QTCOMMERCIAL.COM

Name and Address of Contact  
(If Other Than Applicant)

PAUL MEYER ARCHITECTS, INC.

PAUL HUMISTON

15650 36TH AVE. N. SUITE 120

Phone Number

PLYMOUTH, MN 55446

Email Address

763.557.9081

PHUMISTON@PAULMEYERARCHITECTS.COM



**Proposed Office Building for  
6<sup>th</sup> Avenue Apartments**

Narrative for:  
Site Plan Review and Variances  
617 North Oaks Drive  
Osseo, MN

February 15, 2018

**I. Overview**

**A. Project**

The proposed project consists of the construction a one story building to house an office and exercise room serving the residents of the 6<sup>th</sup> Avenue Apartments.

To facilitate the construction, an existing pool, patio and storage structure will be removed. The scope of work includes removing and improving an existing picnic area and adding five (5) new parking spaces.

The designers have met with City staff to review the project and its unique hardships and the need for variances to viably improve the site.

**II. Details**

**A. Need**

The apartment buildings on the 617 North Oaks Drive property are two of the four apartment buildings comprising the 6<sup>th</sup> Avenue Apartment Campus. The buildings at 624 and 625 North Oaks Drive are the other buildings that are part of the Campus, which includes a total of 86 apartments.

The new owner acquired an apartment campus that included no internal space for office and maintenance staff to serve the residents. Onsite staff is a necessity for serving the campus community and maintaining a safe and welcoming environment. The only viable way to provide for this need, without losing a market rate apartment rental unit, is to construct a free-standing accessory building.

**B. Building**

The proposed building is one story in height and approximately 980 sq. ft. in area.

In addition to housing a reception area, office and conference room, there will be a secured exercise room for use by the campus residents.



The exterior will be brick with aluminum framed windows. A canvas awning is located over the entrance, which is flanked by a pair of decorative light fixtures.

#### C. Site Design

The proposed building is placed in a location central to the campus buildings, easily accessible to residents and prospective residents, with visibility from 6<sup>th</sup> Avenue.

A new concrete side walk will connect the proposed building to the parking lots for resident access.

The existing picnic area will be removed and replaced with a new concrete pad. Two fixed charcoal grills and two fixed picnic tables, which will be covered by a wood pergola structure, are planned to be installed by the owner.

New landscaping is proposed in front of the building and around the picnic area. The required storm water infiltration basin will be seeded with a mix of native grasses.

#### D. Parking:

Required by zoning: 40 dwelling units x 1.75 space per unit = 70 spaces

Proposed parking: 40 existing garage stalls + 43 existing + 5 proposed = 88 spaces

### III. Approvals Requested

#### A. Site and Building Plan

Request for site and building plan approval for a project designed to comply with the R-2 Multi-Family Residential district.

- Sections I and II above provide an overview and details of the requested approval.

#### B. Variance Requests

1. 153.056 (2) *Except for private garages, no accessory building shall exceed ten feet in height or 200 square feet in floor area, nor shall accessory structures exceed ten feet in height or 150 square feet in floor area in R-1 and R-2 zoning districts...*

Our request is a variance for the height and area of the proposed accessory building.

The proposed height of 12' is 2' higher than allowed, but 3' less than allowed for a private garage.

The proposed area of 980 sq. ft. is 830 sq. ft. more than allowed, but 20 sq. ft. less than allowed for a private garage.

a. Standards supporting the variance request:

- i. The particular shape of the surroundings (buildings that were not planned with space for office and maintenance staff) support the need for an accessory building larger than 150 sq. ft. in area.



- ii. The request is unique to this parcel of land as it is part of a larger campus made up of three parcels. The proposed accessory building, though located on a single land parcel, will serve the entire campus.
  - iii. The proposed variance is based on the desire of the owner to provide space for office and maintenance staff onsite to serve the residents and to promote and maintain a safe and welcoming environment on the campus.
  - iv. The provisions of this chapter did not foresee accessory buildings as occupied and conditioned spaces. There is a physical need for this building to be taller than 10' in order to allow adequate height for ceilings, HVAC infrastructure, roof and parapet structure.
  - v. Granting this variance will not be detrimental to the public welfare or injurious to other land or improvements in the vicinity in which the parcel of land is located.
  - vi. The proposed variance will not impair an adequate supply of light and air to adjacent property, or substantially increase congestion of the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the vicinity.
2. 153.078 (G) *Curb and gutter. Off-street parking facilities are required to have concrete curbing and guttering. Existing off-street parking facilities are required to meet this requirement when modifying or expanding the facility.*

Our request is not a variance per se, but a request to be exempted from a rule that does not apply to this circumstance, and would be an undue hardship if enforced.

Adding a subordinate building for a use incidental to the main use of the site is not an expansion of the existing apartment facility, nor is it a modification of the primary function of the site.

We are using the construction of the accessory building as an opportunity to provide accessible parking spaces that will serve the new building and the campus, as well as visitor spaces for prospective residents.

The additional paving area is less than 4% of the existing onsite paved area, and an even smaller percentage of the perimeter where a curb might be placed.

Allowing this exemption will not be detrimental to the public welfare or injurious to other land or improvements in the vicinity in which the parcel of land is located.

#### **IV. Conclusion:**

The proposed accessory structure is reasonably necessary to the primary use of the site and maintains the essential character and use of the site.

The requested variance meets the standards for granting a variance in the Zoning Code.





Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

SHEET INDEX	
T1	TITLE SHEET
1 OF 1	BOUNDARY & PARTIAL TOPOGRAPHY SURVEY
C1.1	EXISTING CONDITIONS
C1.2	DEMOLITION PLAN
C2.1	SITE PLAN
C3.1	GRADING & EROSION CONTROL PLAN
C4.1	UTILITY PLAN
C8.1	CIVIL DETAILS
C8.2	CIVIL DETAILS
L1.1	LANDSCAPE PLAN
A1	OFFICE PLAN, SECTION AND ELEVATIONS

Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
**ARCHITECTS, INC.**  
15650 36TH AVENUE NORTH, SUITE 170  
BRYAN, MINNESOTA 55446  
TEL 763-557-9081 / FAX 763-557-9233  
PROJECT # 16316.03

ISSUE/REVISIONS  
02-14-2018  
CITY SUBMITTAL

TITLE SHEET

T1



SURVEY LEGEND

- SANITARY MANHOLE  
◇ HYDRANT  
⌵ GATE VALVE  
○ GUARDPOST  
+972.5 SPOT ELEVATION  
□ ELECTRIC TRANSFORMER  
□ TELEPHONE PEDESTAL  
PI PINE  
☼ CONIFEROUS TREE
- >— SANITARY SEWER  
— I — WATERMAIN  
— CTV — UNDERGROUND CABLE TV  
— GAS — UNDERGROUND GAS  
— TEL — UNDERGROUND TELEPHONE  
—○— CHAIN LINK FENCE  
—□— WOOD FENCE  
— CONCRETE CURB  
— CONCRETE  
—872— CONTOUR  
● DENOTES IRON MONUMENT FOUND

DESCRIPTION OF PROPERTY

(Per Hennepin County property information web site)

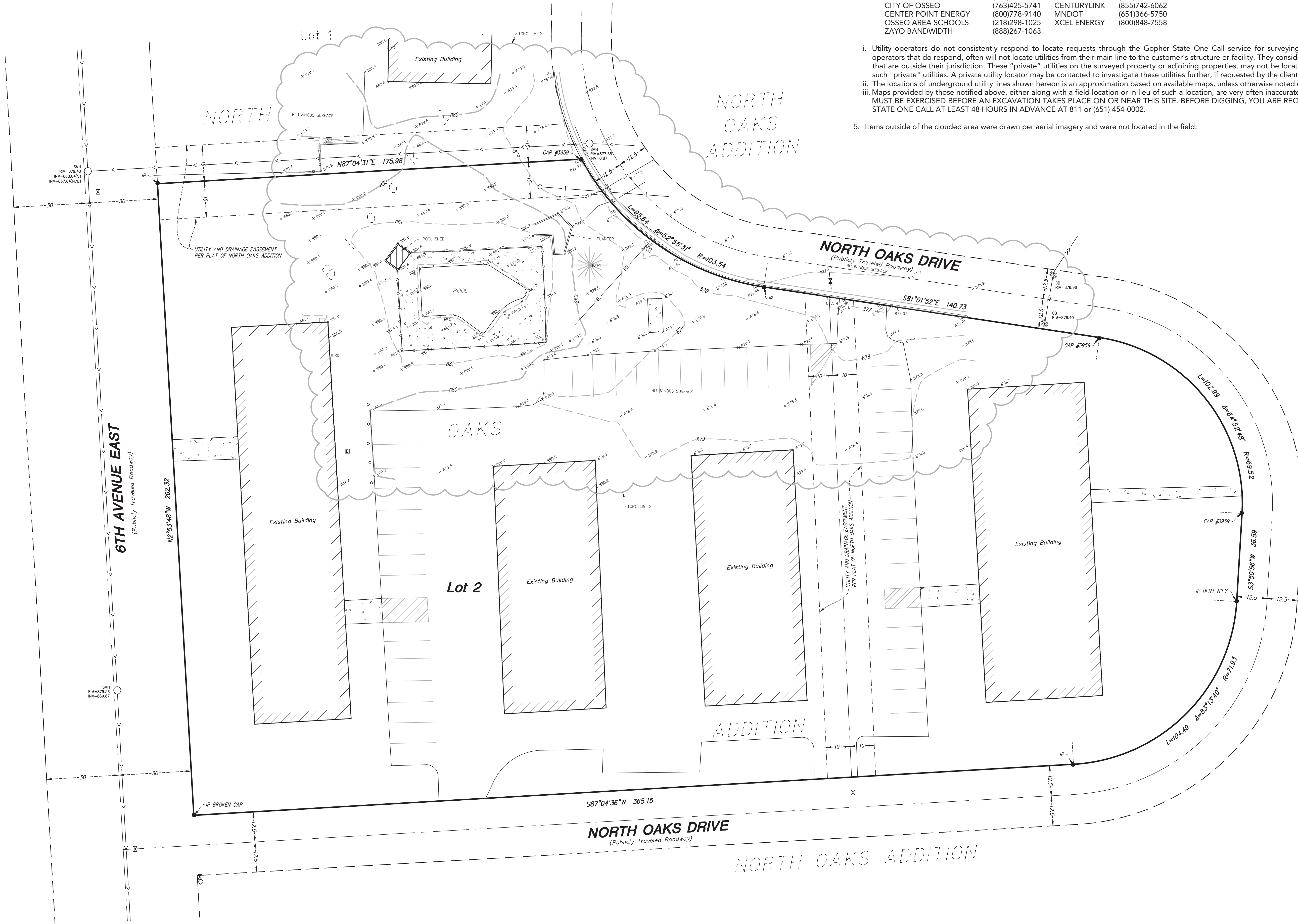
Lot 2, Block 2, NORTH OAKS ADDITION, Hennepin County, Minnesota

SURVEY REPORT

- The purpose of this survey is to show partial topography and existing improvements for the requested area of the property.
- The bearings for this survey are based on the plat of NORTH OAKS ADDITION, Hennepin County, Minnesota.
- Benchmark: MNDOT monument 2750G, located in osseo, 0.5 mile south along trunk highway 169 from the junction of trunk highway 169 and trunk highway 610 in brooklyn park, at trunk highway 169 milepoint 140.75, then 0.05 mile west on county road 30 (93rd avenue north), then 0.10 mile south and east on the road to the cemetery entrance, 142.2 feet south of westbound county road 30 (93rd avenue north), 196.0 feet east of an east cemetery gate post, 1.2 feet west of a right-of-way sign post, 0.4 foot north of a fence, 0.6 foot east of a witness post. Elevation = 883.62 (NGD29)
- We have shown underground utilities on and/or serving the surveyed property per Gopher State One-Call Ticket Nos. 172333046 & 172333057. The following utilities and municipalities were notified:

CITY OF BROOKLYN PARK	(763)493-8007	COMCAST	(800)762-0592
CITY OF OSSEO	(763)425-5741	CENTURYLINK	(855)742-6062
CENTER POINT ENERGY	(800)778-9140	MNDOT	(651)366-5750
OSSEO AREA SCHOOLS	(218)298-1025	XCEL ENERGY	(800)848-7558
ZAYO BANDWIDTH	(888)267-1063		

- Utility operators do not consistently respond to locate requests through the Gopher State One Call service for surveying purposes such as this. Those utility operators that do respond, often will not locate utilities from their main line to the customer's structure or facility. They consider those utilities "private" installations that are outside their jurisdiction. These "private" utilities on the surveyed property or adjoining properties, may not be located since most operators will not mark such "private" utilities. A private utility locator may be contacted to investigate these utilities further, if requested by the client.
  - The locations of underground utility lines shown hereon is an approximation based on available maps, unless otherwise noted on the survey.
  - Maps provided by those notified above, either along with a field location or in lieu of such a location, are very often inaccurate or inconclusive. EXTREME CAUTION MUST BE EXERCISED BEFORE AN EXCAVATION TAKES PLACE ON OR NEAR THIS SITE. BEFORE DIGGING, YOU ARE REQUIRED BY LAW TO NOTIFY GOPHER STATE ONE CALL AT LEAST 48 HOURS IN ADVANCE AT 811 or (651) 454-0002.
5. Items outside of the clouded area were drawn per aerial imagery and were not located in the field.



COUNTRYSIDE  
ESTATES  
APARTMENTS

617 NORTH OAKS DRIVE  
OSSEO, MN 55369

QUALITY TRUSTED  
COMMERCIAL  
CONSTRUCTION &  
ROOFING

6909 WINNETKA AVENUE NORTH  
BROOKLYN PARK, MN 55428

LOUCKS

PLANNING  
CIVIL ENGINEERING  
LAND SURVEYING  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL

7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763.424.5505  
www.loucksinc.com

CADD QUALIFICATION

CADD files prepared by the Consultant for this project are instruments of the Consultant's professional services for use solely with respect to this project. These CADD files shall not be used on other projects, for additions to this project, or for completion of this project by others without written approval by the Consultant. With the Consultant's approval, others may be permitted to obtain copies of the CADD drawing files for information and reference only. All intentional or unintentional revisions, additions, or deletions to these CADD files shall be made at the full risk of that party making such revisions, additions or deletions and that party shall hold harmless and indemnify the Consultant from any & all responsibilities, claims, and liabilities.

SUBMITTAL/REVISIONS

09/13/17	SURVEY SUBMITTED
09/27/17	ADDED UTILITIES AND ADDITIONAL SITE FEATURES

PROFESSIONAL SIGNATURE

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

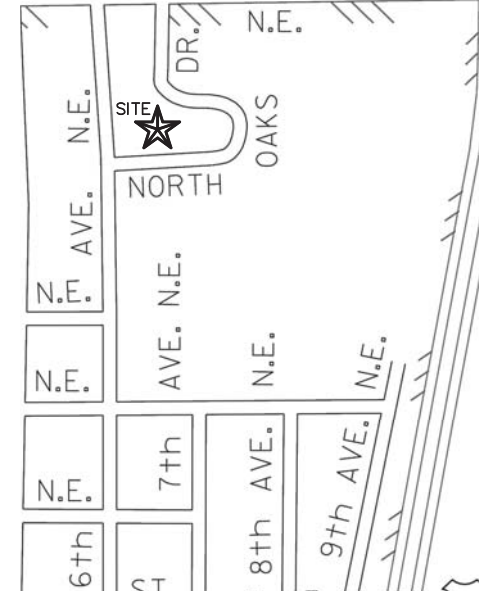
*Max L. Stanislawski*  
Max L. Stanislawski - PLS

License No. 48988  
Date

QUALITY CONTROL

Loucks Project No.	17433
Project Lead	MLS
Drawn By	NRS
Checked By	MLS
Field Crew	MJA

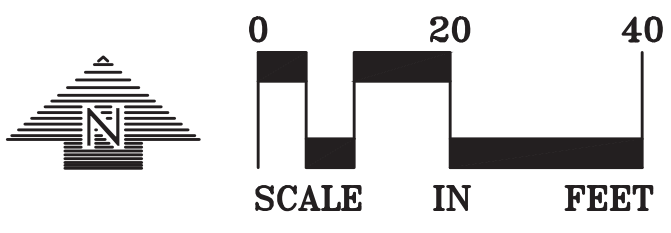
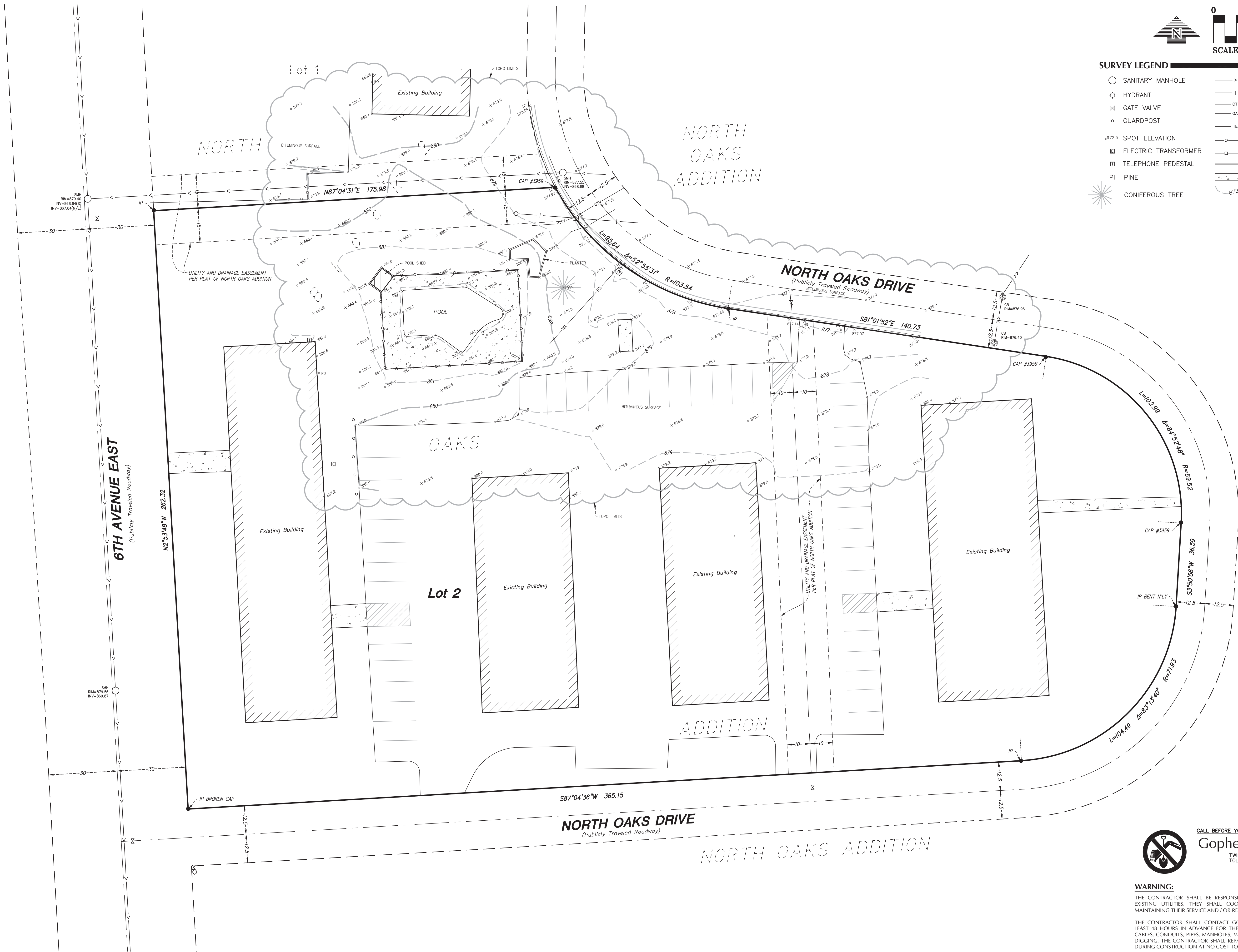
VICINITY MAP



BOUNDARY &  
PARTIAL  
TOPOGRAPHY  
SURVEY

1 OF 1





- SURVEY LEGEND**
- |    |                      |       |                             |
|----|----------------------|-------|-----------------------------|
| ○  | SANITARY MANHOLE     | —>—   | SANITARY SEWER              |
| ⊕  | HYDRANT              | — —   | WATERMAIN                   |
| ⊗  | GATE VALVE           | —CTV— | UNDERGROUND CABLE TV        |
| ⊙  | GUARDPOST            | —GAS— | UNDERGROUND GAS             |
|    |                      | —TEL— | UNDERGROUND TELEPHONE       |
| •  | SPOT ELEVATION       | —○—○— | CHAIN LINK FENCE            |
| ⊠  | ELECTRIC TRANSFORMER | —□—□— | WOOD FENCE                  |
| ⊞  | TELEPHONE PEDESTAL   | —▬—▬  | CONCRETE CURB               |
| PI | PINE                 | —▬—▬  | CONCRETE                    |
| ☼  | CONIFEROUS TREE      | —872— | CONTOUR                     |
|    |                      | ●     | DENOTES IRON MONUMENT FOUND |

Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
ARCHITECTS, INC.  
15550 36TH AVENUE NORTH, SUITE 170  
PLYMOUTH, MINNESOTA 55446  
TEL 763-537-9081 / FAX 763-537-9233  
PROJECT # 15203.02

**LOUCKS**  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763-424-3505  
www.loucks.com  
LOUCKS PROJECT NO. 17453

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

TREVOR D. GRUYS - PE  
DATE: 02-14-2018 LIC. #53706

**ISSUE/REVISIONS**  
02-14-18 CITY SUBMITTAL

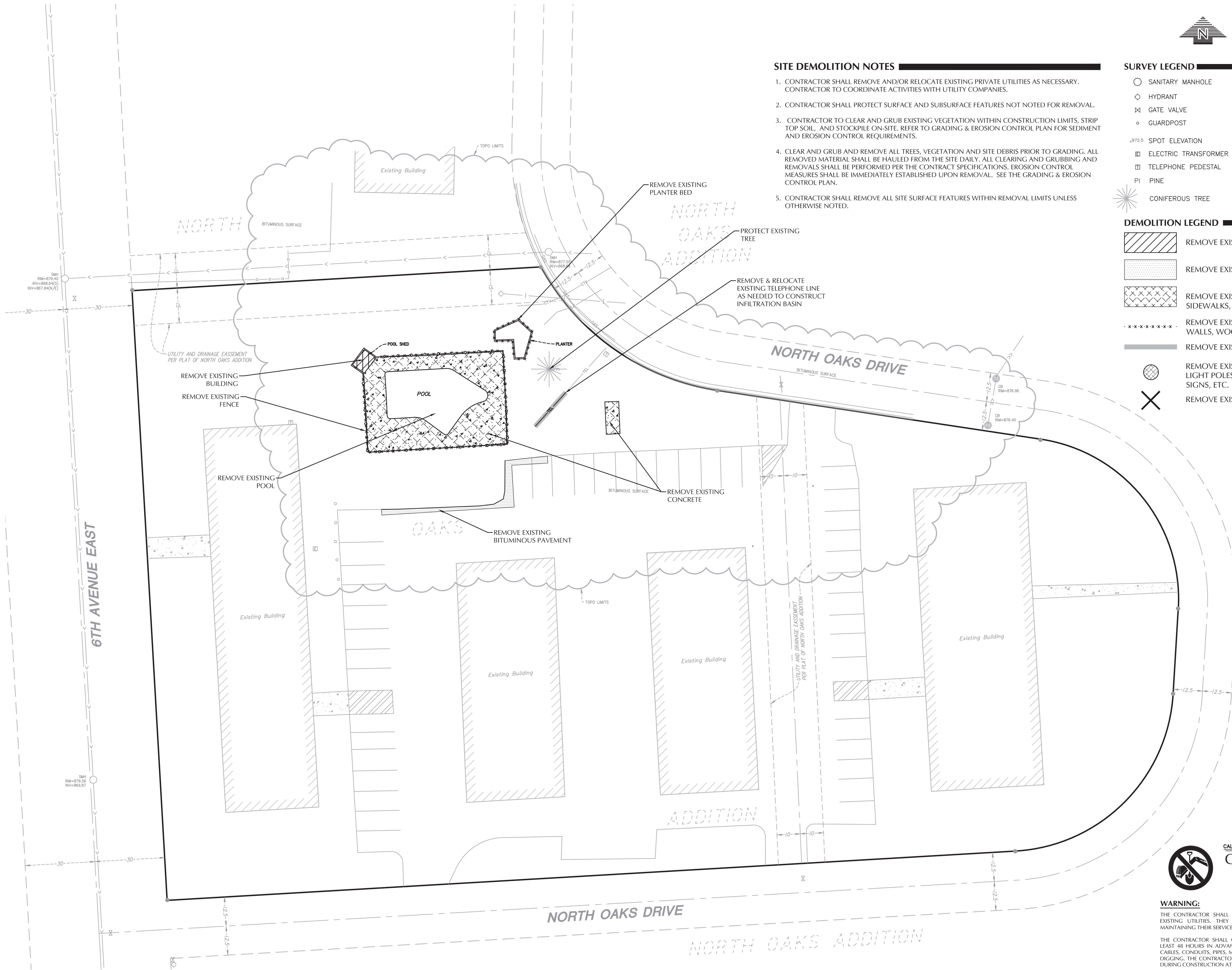
**EXISTING CONDITIONS**

**C1.1**

 **CALL BEFORE YOU DIG!**  
**Gopher State One Call**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.





- SITE DEMOLITION NOTES**
1. CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
  2. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
  3. CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS. STRIP TOP SOIL, AND STOCKPILE ON-SITE. REFER TO GRADING & EROSION CONTROL PLAN FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
  4. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. ALL REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE GRADING & EROSION CONTROL PLAN.
  5. CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.

**SURVEY LEGEND**

○	SANITARY MANHOLE	—>—	SANITARY SEWER
⊕	HYDRANT	— —	WATERMAIN
⊗	GATE VALVE	—CTV—	UNDERGROUND CABLE TV
○	GUARDPOST	—GAS—	UNDERGROUND GAS
		—TEL—	UNDERGROUND TELEPHONE
972.5	SPOT ELEVATION	—○—○—	CHAIN LINK FENCE
⊞	ELECTRIC TRANSFORMER	—□—□—	WOOD FENCE
⊞	TELEPHONE PEDESTAL	—	CONCRETE CURB
PI	PINE	—	CONCRETE
☼	CONIFEROUS TREE	—872—	CONTOUR
		●	DENOTES IRON MONUMENT FOUND

**DEMOLITION LEGEND**

	REMOVE EXISTING BUILDINGS & ACCESSORIES
	REMOVE EXISTING BITUMINOUS PAVING
	REMOVE EXISTING CONCRETE PAVING, SIDEWALKS, ISLANDS, ETC.
	REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, WOOD FENCE, BILLBOARDS, ETC.
	REMOVE EXISTING UTILITIES
	REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, PARKING METERS, SIGNS, ETC.
	REMOVE EXISTING TREES

**CALL BEFORE YOU DIG!**  
**Gopher State One Call**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

**Proposed Office Building For:**  
**6th Avenue Apartments**  
**617 North Oaks Drive**  
**Osseo, MN**

**Paul Meyer**  
**ARCHITECTS, INC.**  
15550 36TH AVENUE NORTH, SUITE 170  
PLYMOUTH, MINNESOTA 55446  
TEL 763-537-9081 / FAX 763-537-9233  
PROJECT # 15203.02

**LOUCKS**  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763-424-3505  
www.loucksinc.com  
LOUCKS PROJECT NO. 17453

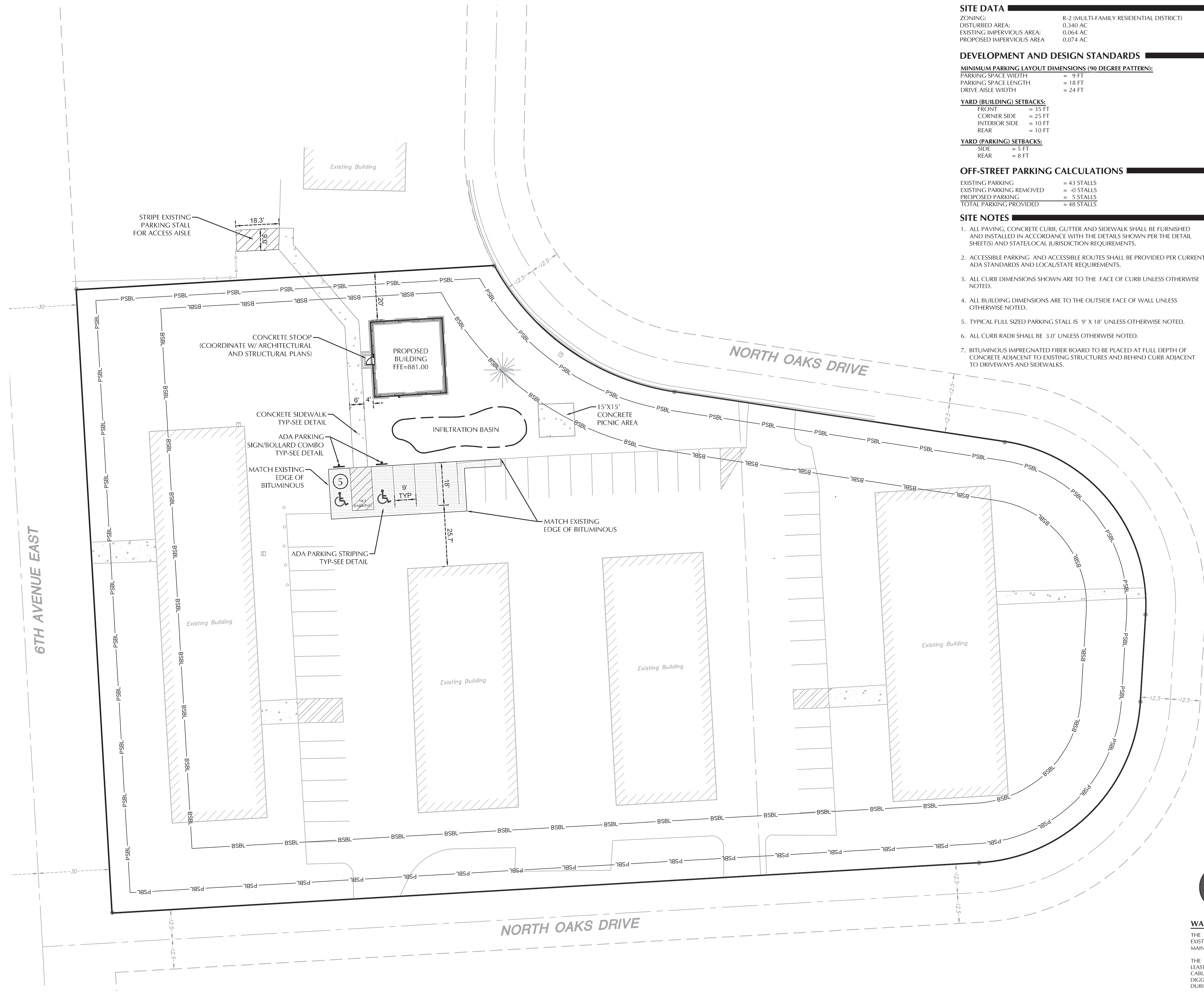
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
TREVOR D. GRUYS - PE  
DATE: 02-14-2018 LIC. #53706

**ISSUE/REVISIONS**  
02-14-18 CITY SUBMITTAL

**DEMOLITION PLAN**

**C1.2**





SITE DATA	
ZONING:	R-2 (MULTI-FAMILY RESIDENTIAL DISTRICT)
DISTURBED AREA:	0.340 AC
EXISTING IMPERVIOUS AREA:	0.064 AC
PROPOSED IMPERVIOUS AREA:	0.074 AC

DEVELOPMENT AND DESIGN STANDARDS	
MINIMUM PARKING LAYOUT DIMENSIONS (90 DEGREE PATTERN):	
PARKING SPACE WIDTH	= 9 FT
PARKING SPACE LENGTH	= 18 FT
DRIVE AISLE WIDTH	= 24 FT

YARD (BUILDING) SETBACKS:	
FRONT	= 35 FT
CORNER SIDE	= 25 FT
INTERIOR SIDE	= 10 FT
REAR	= 10 FT

YARD (PARKING) SETBACKS:	
SIDE	= 5 FT
REAR	= 8 FT

OFF-STREET PARKING CALCULATIONS	
EXISTING PARKING	= 43 STALLS
EXISTING PARKING REMOVED	= -0 STALLS
PROPOSED PARKING	= 5 STALLS
TOTAL PARKING PROVIDED	= 48 STALLS

- SITE NOTES**
1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEETS) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
  2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
  3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
  5. TYPICAL FULL SIZED PARKING STALL IS 9' X 18' UNLESS OTHERWISE NOTED.
  6. ALL CURB RADII SHALL BE 3.0' UNLESS OTHERWISE NOTED.
  7. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.

CIVIL LEGEND	
EXISTING	PROPOSED

PAVEMENT TYPES	
	CONCRETE SIDEWALK
	STANDARD DUTY BITUMINOUS PAVEMENT

NOTE:  
SEE PAVEMENT SECTIONS ON DETAIL SHEET FOR TYPE AND DEPTH INFORMATION.

**CALL BEFORE YOU DIG!**  
**Gopher State One Call**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.  
  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
**ARCHITECTS INC.**  
15650 36TH AVENUE NORTH, SUITE 170  
PLYMOUTH, MINNESOTA 55446  
TEL 763-537-9081 / FAX 763-537-9233

**LOUCKS**  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
TEL 763-424-3305  
www.loucks.com  
LOUCKS PROJECT NO. 17433

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

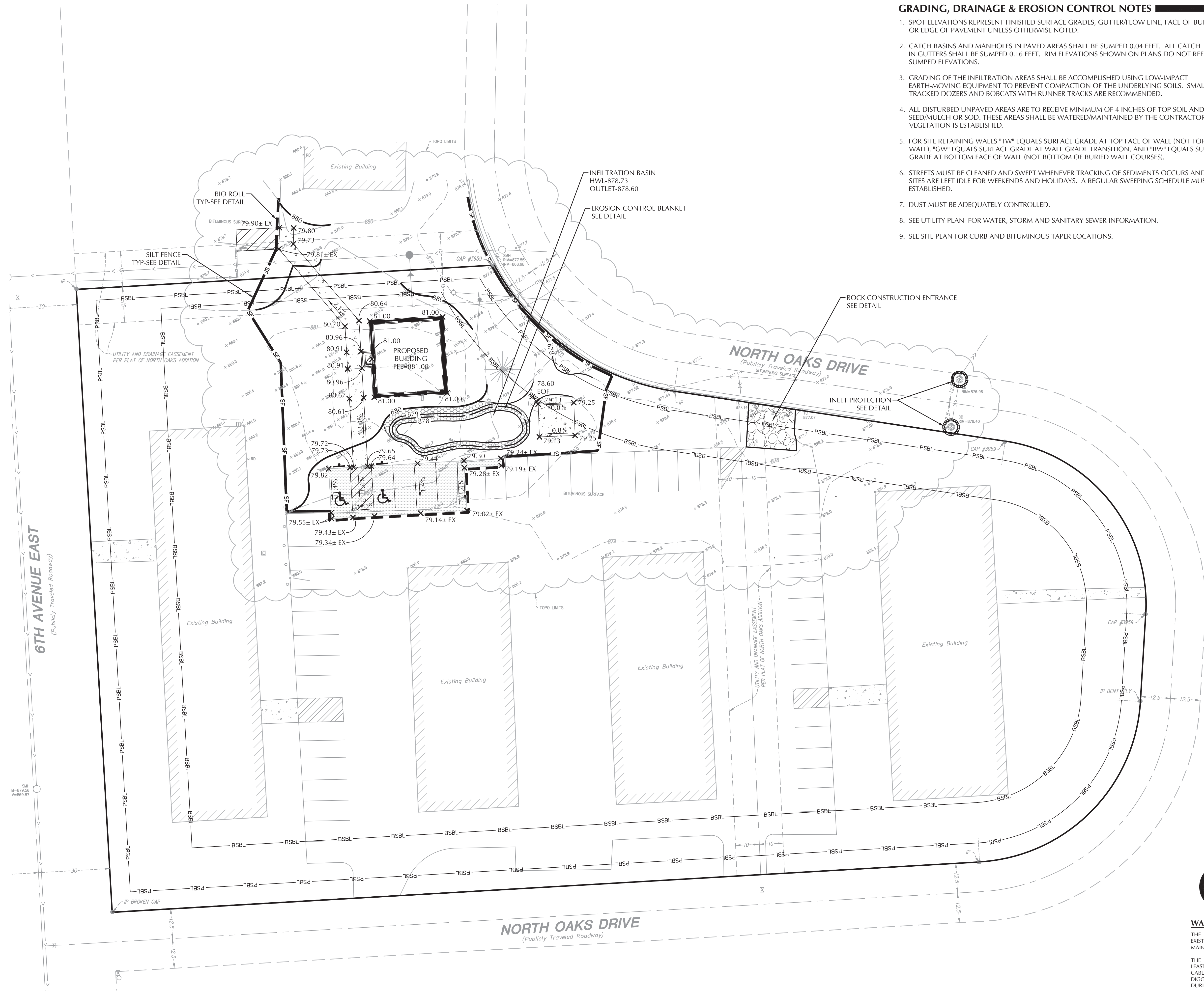
TREVOR D. GRUYS - PE  
DATE 02-14-2018 LIC. #53706

**ISSUE/REVISIONS**  
02-14-18 CITY SUBMITTAL

**SITE PLAN**

**C2.1**





**GRADING, DRAINAGE & EROSION CONTROL NOTES**

1. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
3. GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
4. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
5. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
6. STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
7. DUST MUST BE ADEQUATELY CONTROLLED.
8. SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
9. SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.

CIVIL LEGEND	
EXISTING	PROPOSED

**EROSION CONTROL LEGEND**

	SILT FENCE
	BIO ROLLS
	INLET PROTECTION
	EROSION CONTROL BLANKET
	ROCK CONSTRUCTION ENTRANCE



CALL BEFORE YOU DIG!  
**Gopher State One Call**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.  
THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
ARCHITECTS, INC.  
15650 26TH AVENUE NORTH, SUITE 170  
PLYMOUTH, MINNESOTA 55446  
TEL 763-537-9081 / FAX 763-537-9233  
PROJECT # 15203.02

**LOUCKS**  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763-424-3505  
www.loucks.com  
LOUCKS PROJECT NO. 17433

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

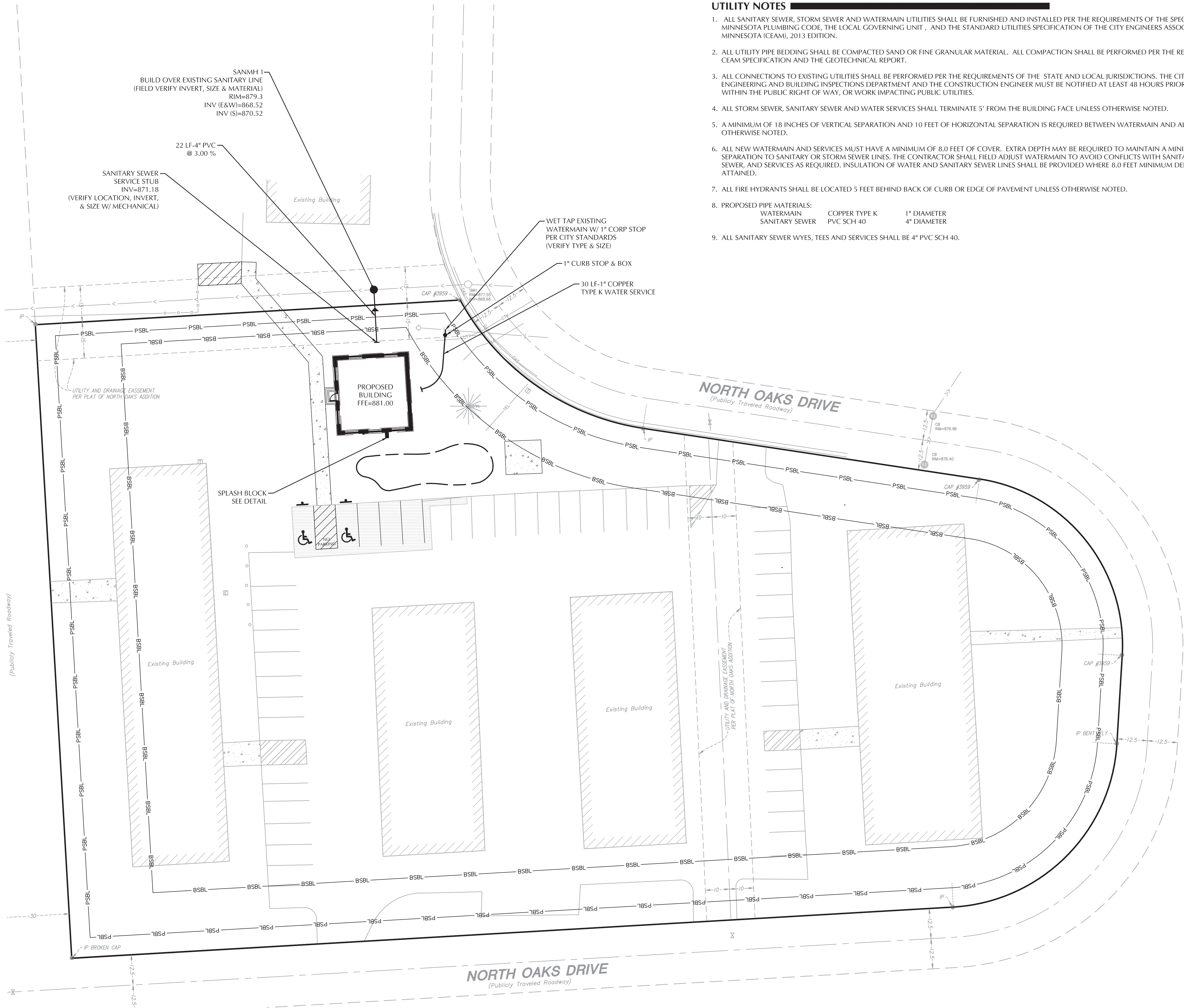
TREVOR D. GRUYS - PE  
DATE: 02-14-2018 LIC. #53706

**ISSUE/REVISIONS**  
02-14-18 CITY SUBMITTAL

**GRADING & EROSION CONTROL PLAN**

**C3.1**





UTILITY NOTES

1. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT , AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), 2013 EDITION.
2. ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. ALL COMPACTION SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CEAM SPECIFICATION AND THE GEOTECHNICAL REPORT.
3. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE CONSTRUCTION ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
4. ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
5. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND ALL UTILITIES UNLESS OTHERWISE NOTED.
6. ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0 FEET OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0 FEET MINIMUM DEPTH CAN NOT BE ATTAINED.
7. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
8. PROPOSED PIPE MATERIALS:  
WATERMAIN                      COPPER TYPE K                      1" DIAMETER  
SANITARY SEWER                PVC SCH 40                        4" DIAMETER
9. ALL SANITARY SEWER WYES, TEES AND SERVICES SHALL BE 4" PVC SCH 40.

CIVIL LEGEND	
EXISTING	PROPOSED



CALL BEFORE YOU DIG!  
**Gopher State One Call**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
ARCHITECTS, INC.  
15650 26TH AVENUE NORTH, SUITE 170  
PLYMOUTH, MINNESOTA 55446  
TEL 763-357-9081 / FAX 763-357-9233  
PROJECT # 15203.02

**LOUCKS**  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763-424-3505  
www.loucks.com  
LOUCKS PROJECT NO. 17453

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

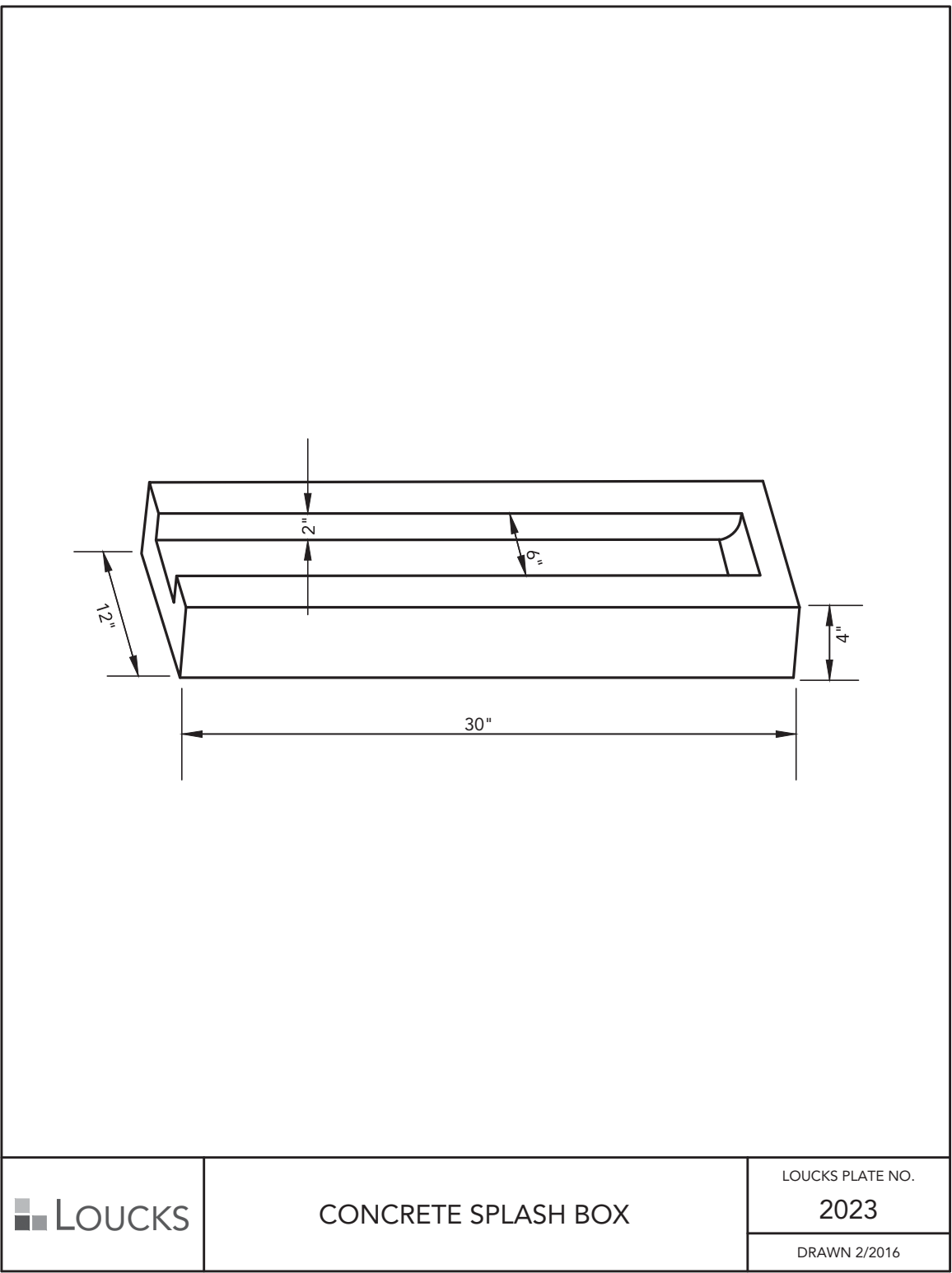
TREVOR D. GRUYS - PE  
DATE: 02-14-2018 LIC. #53706

**ISSUE/REVISIONS**  
02-14-18 CITY SUBMITTAL

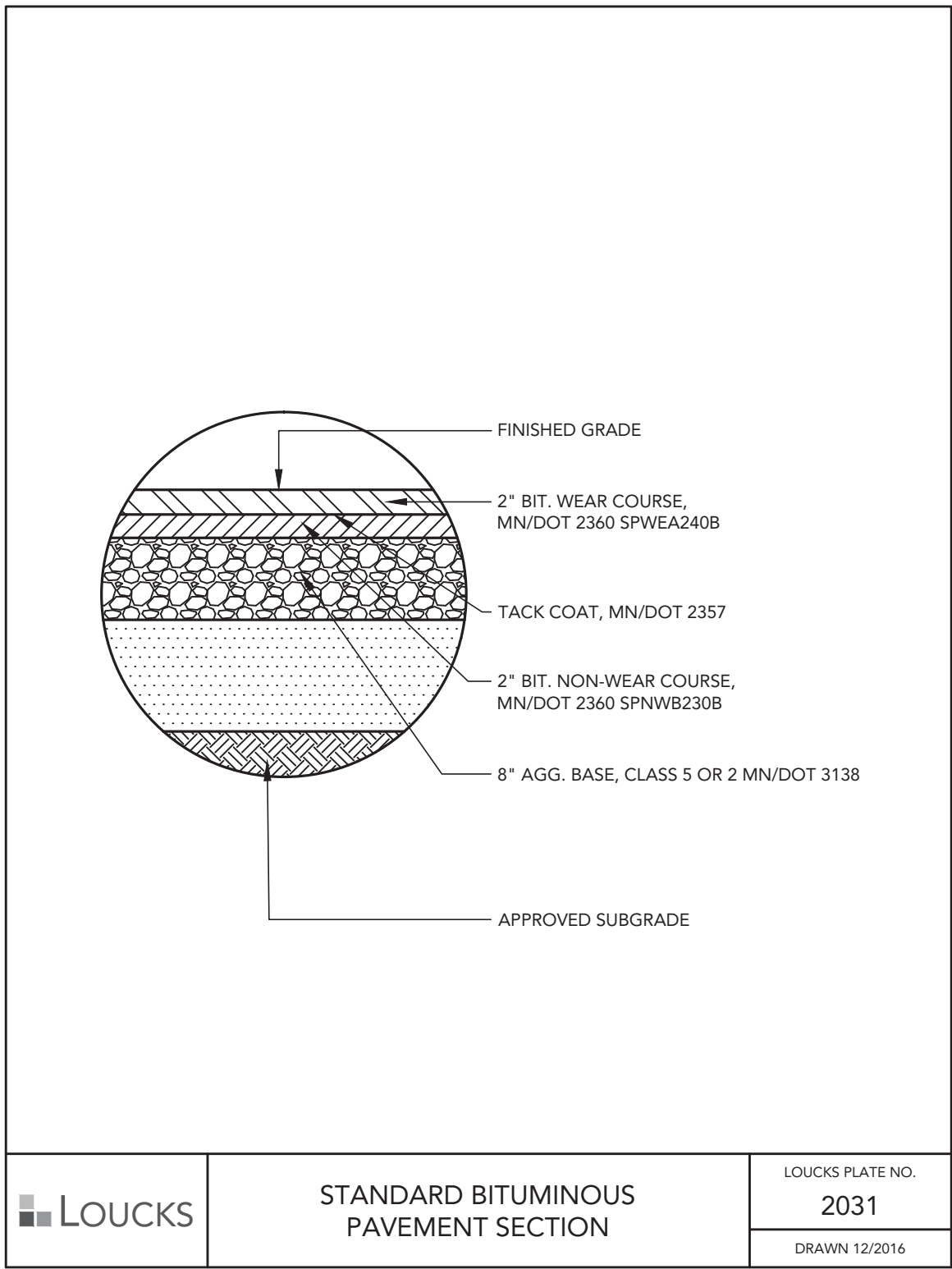
UTILITY PLAN

**C4.1**

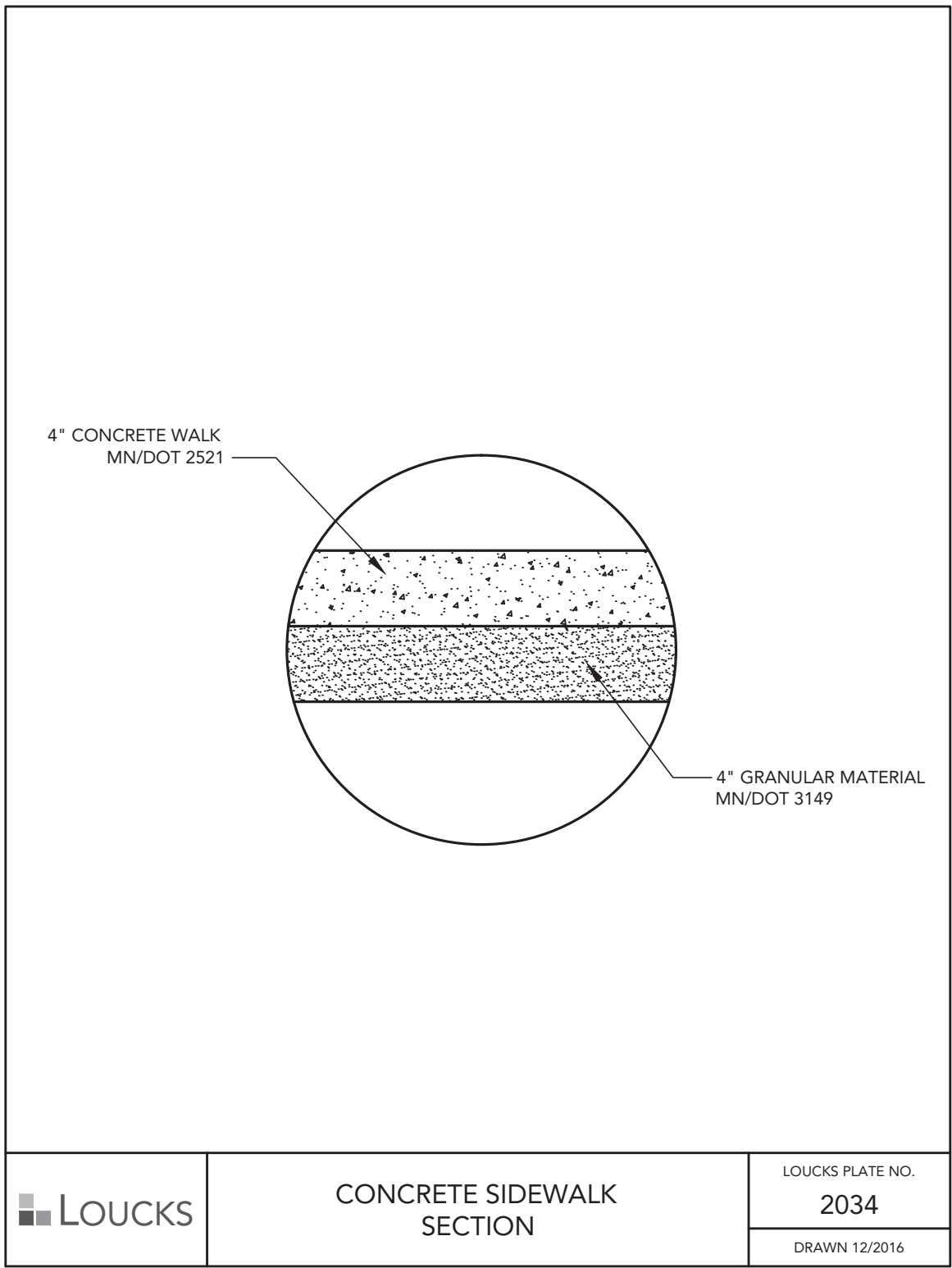




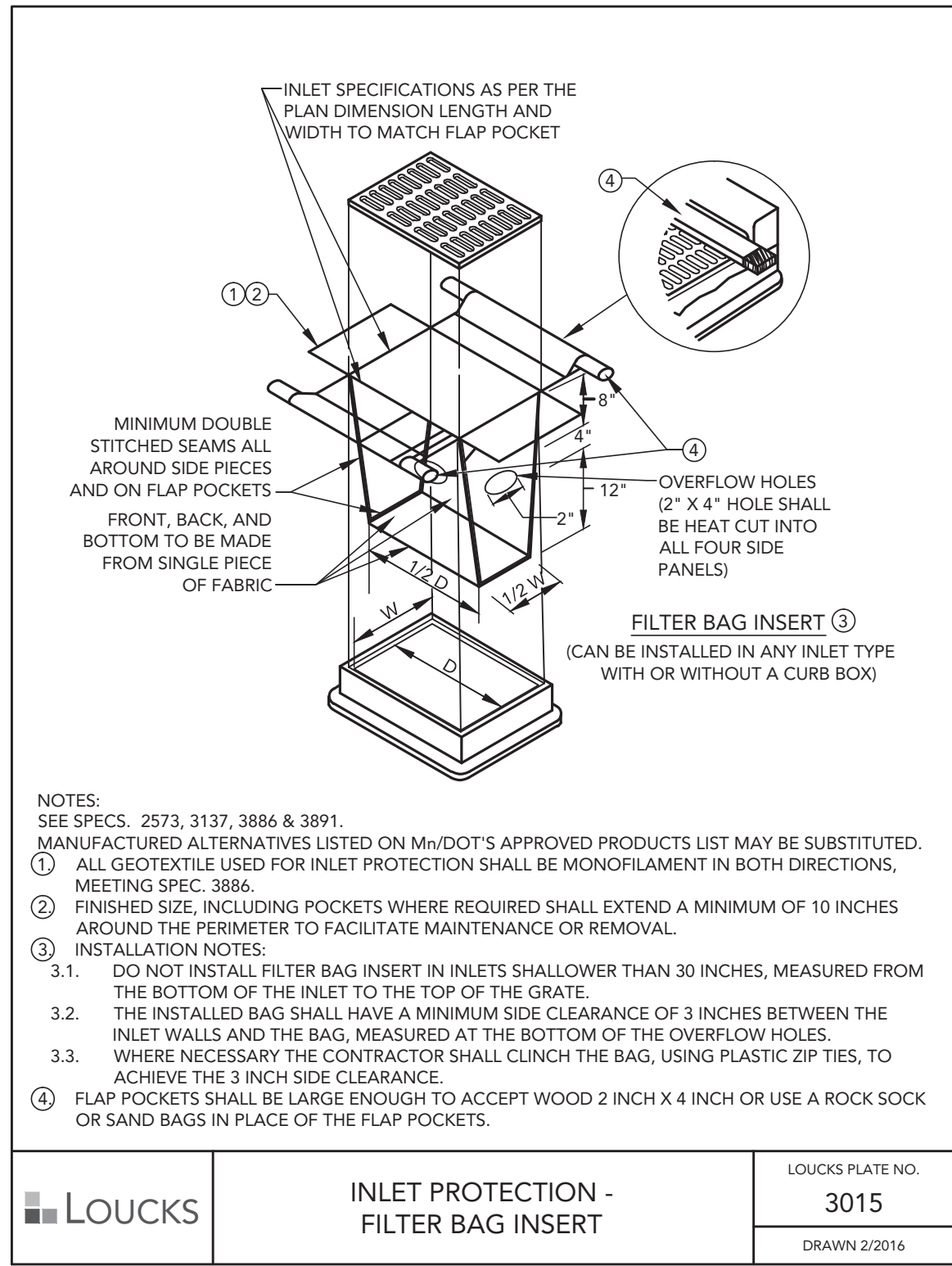
LOUCKS CONCRETE SPLASH BOX LOUCKS PLATE NO. 2023 DRAWN 2/2016



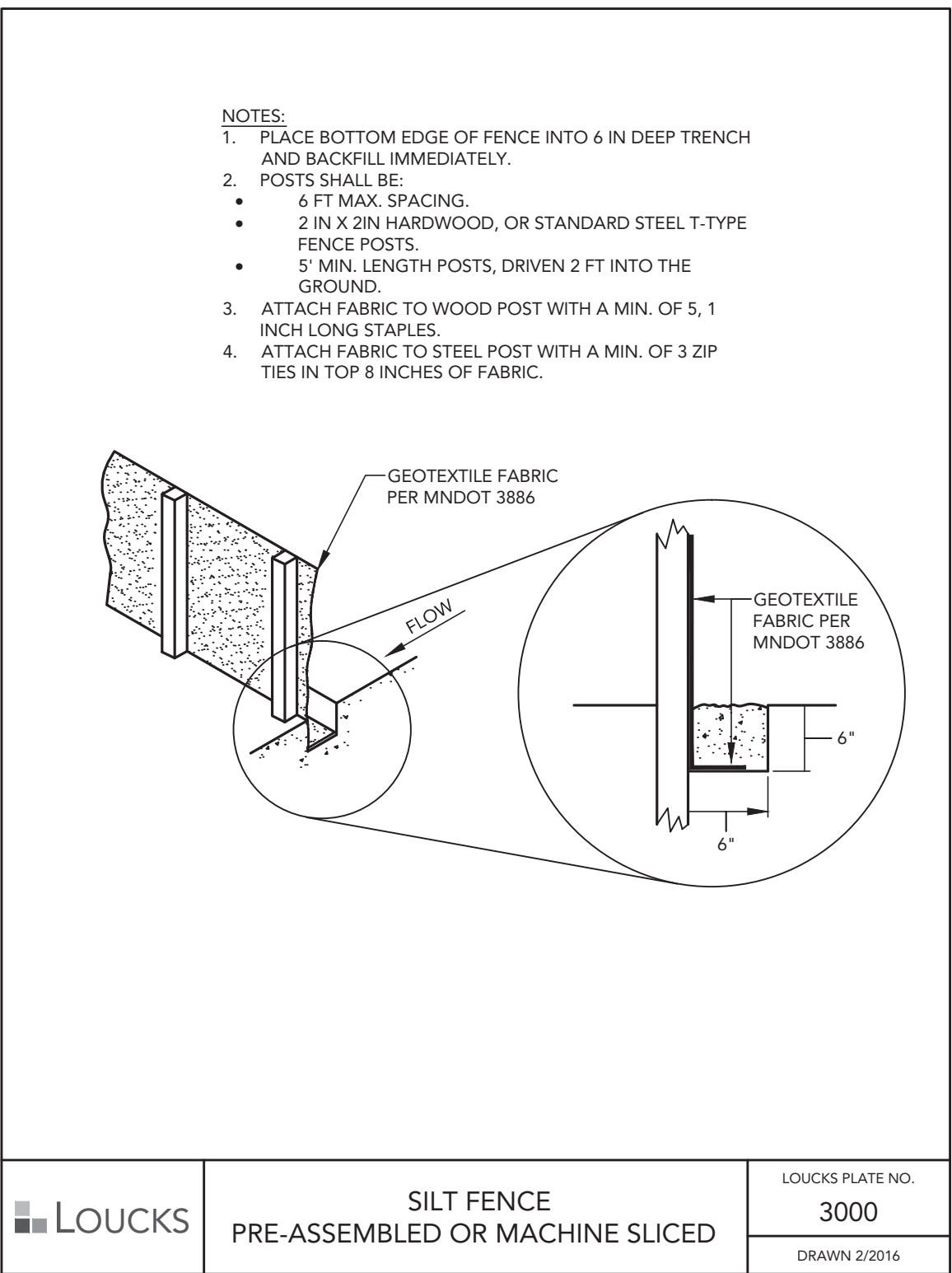
LOUCKS STANDARD BITUMINOUS PAVEMENT SECTION LOUCKS PLATE NO. 2031 DRAWN 12/2016



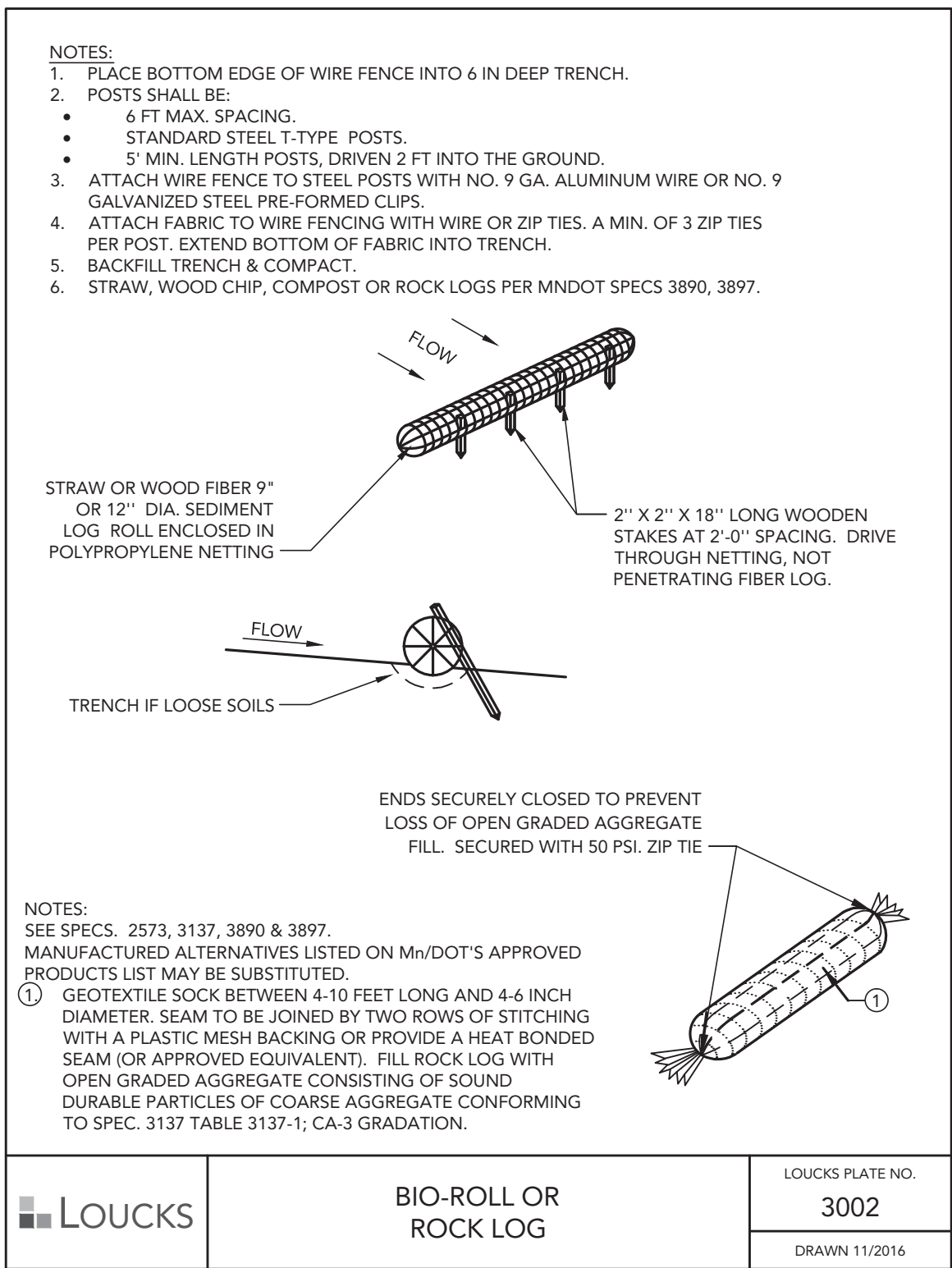
LOUCKS CONCRETE SIDEWALK SECTION LOUCKS PLATE NO. 2034 DRAWN 12/2016



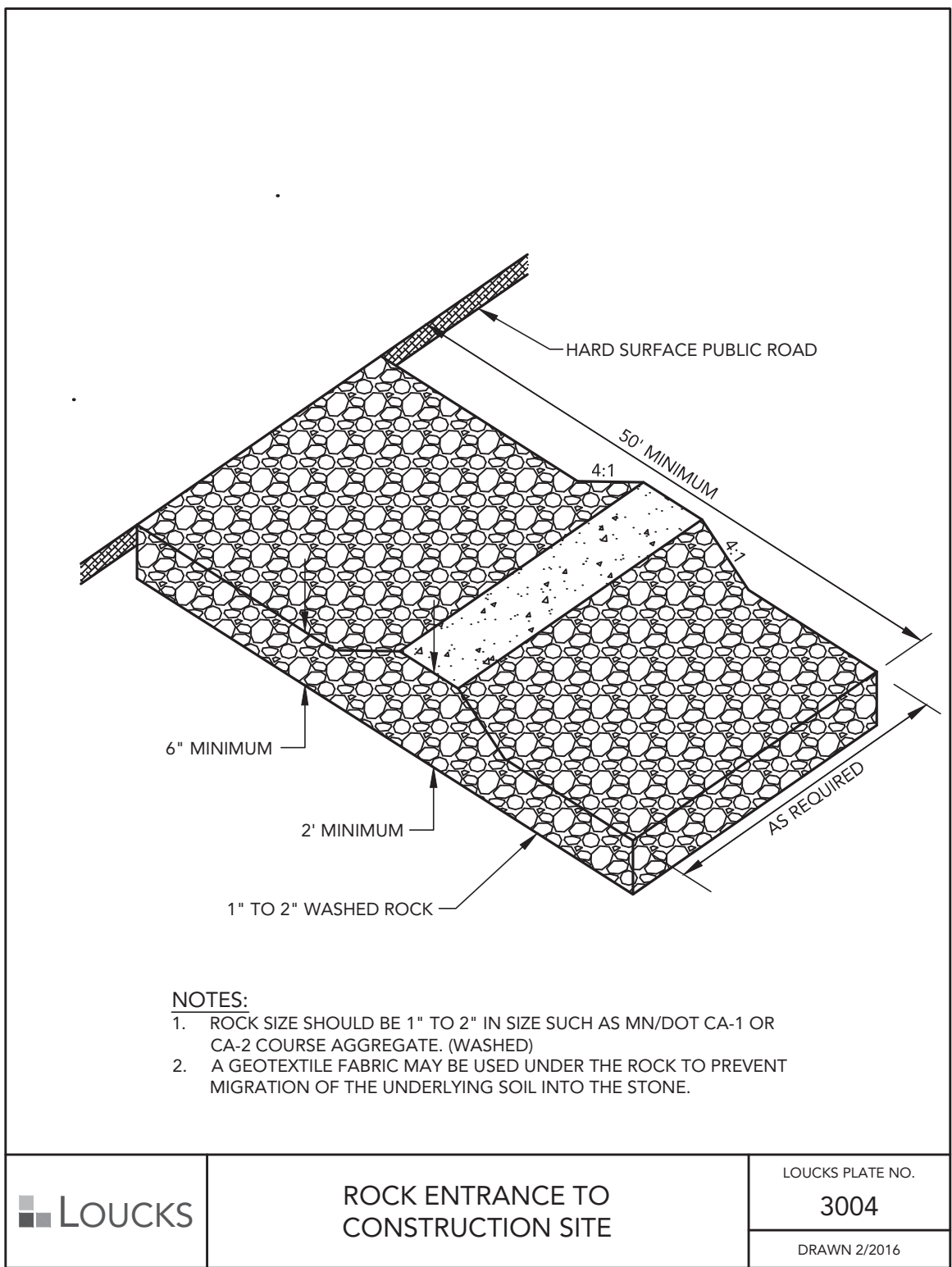
LOUCKS INLET PROTECTION - FILTER BAG INSERT LOUCKS PLATE NO. 3015 DRAWN 2/2016



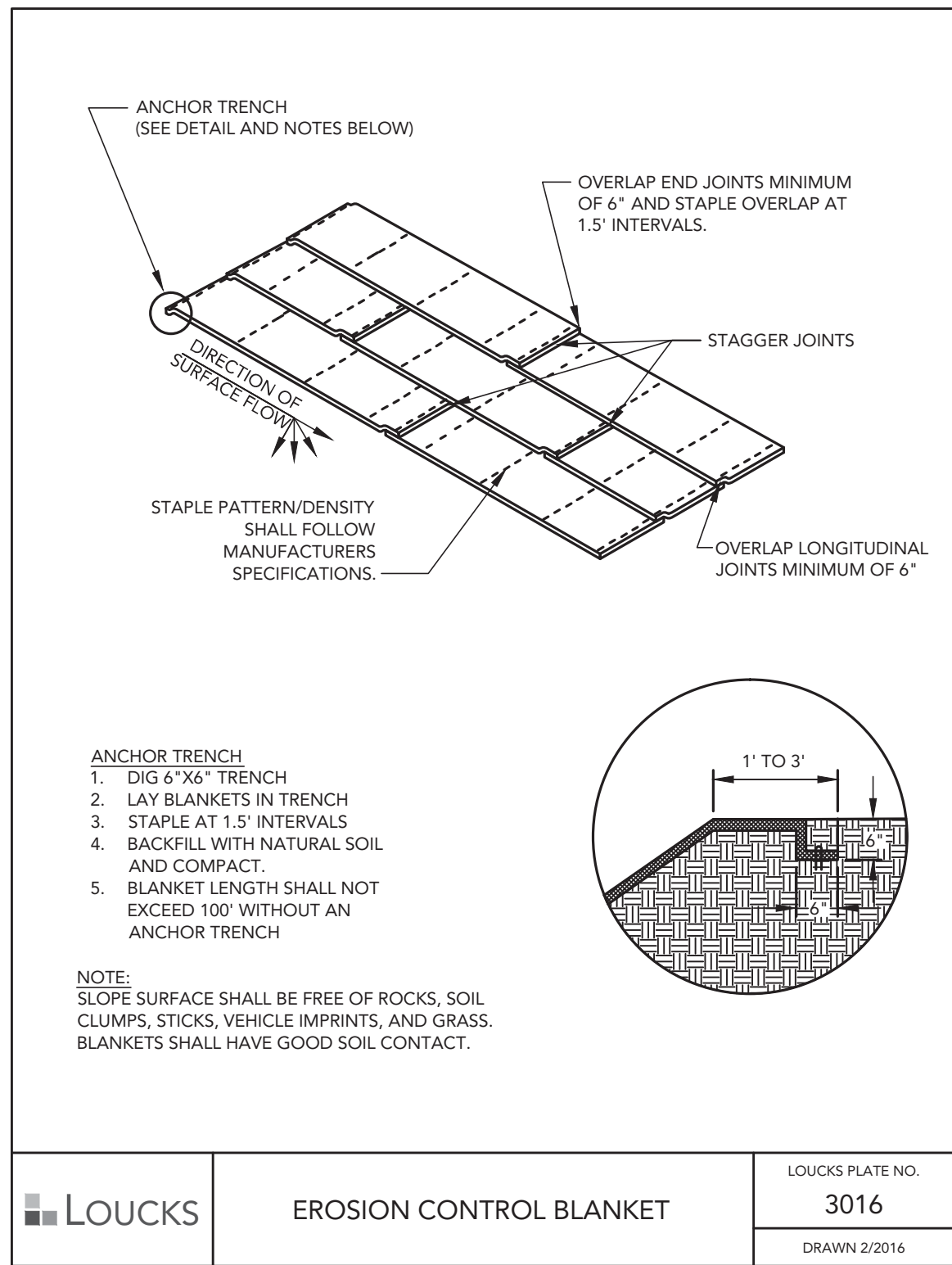
LOUCKS SILT FENCE PRE-ASSEMBLED OR MACHINE SLICED LOUCKS PLATE NO. 3000 DRAWN 2/2016



LOUCKS BIO-ROLL OR ROCK LOG LOUCKS PLATE NO. 3002 DRAWN 11/2016



LOUCKS ROCK ENTRANCE TO CONSTRUCTION SITE LOUCKS PLATE NO. 3004 DRAWN 2/2016



LOUCKS EROSION CONTROL BLANKET LOUCKS PLATE NO. 3016 DRAWN 2/2016

Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
ARCHITECTS, INC.  
15650 36TH AVENUE NORTH, SUITE 170  
PLYMOUTH, MINNESOTA 55446  
TEL 763-537-9081 / FAX 763-537-9233  
PROJECT # 15203.02

**LOUCKS**  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763-424-3505  
www.loucksinc.com  
LOUCKS PROJECT NO. 17433

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
TREVOR D. GRUYS - PE  
DATE 02-14-2018 LIC. #53706

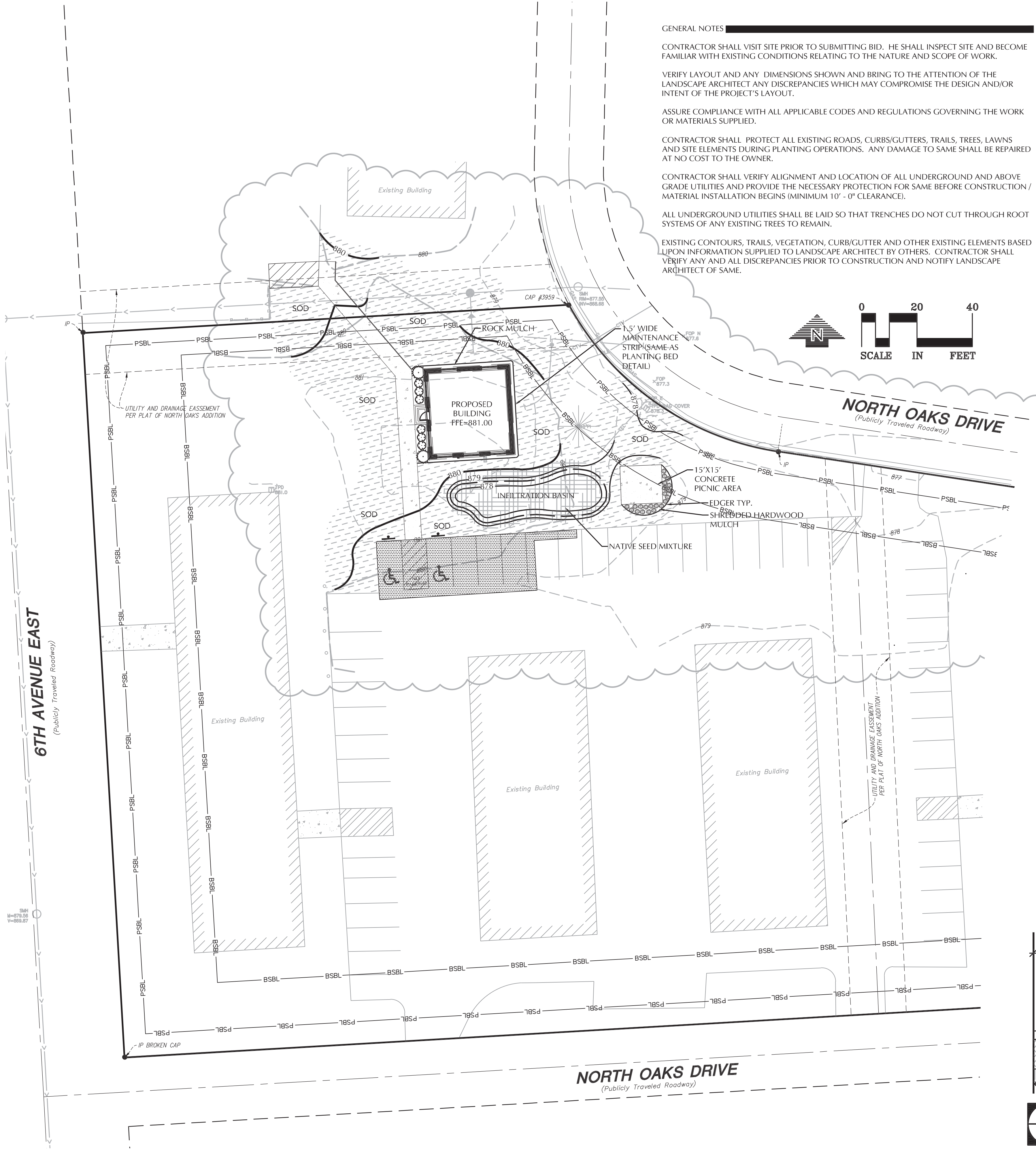
**ISSUE/REVISIONS**  
02-14-18 CITY SUBMITTAL

CIVIL DETAILS  
**C8.1**









GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

PLANT SCHEDULE					
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
	6	NEON FLASH SPIREA	Spiraea japonica 'Neon Flash'	5 gal	24" HGT
CONIFEROUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
	2	MINT JULEP JUNIPER	Juniperus chinensis 'Monlep'	5 gal	24" SPRD
GRASSES	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE
	22	FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 gal	



LANDSCAPE INSTALLATION:

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

BLACK METAL EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH AND FIBER MAT WEED BARRIER.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE.

WARRANTY (ONE FULL GROWING SEASON) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

IRRIGATION NOTES:

VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LAYOUT AND CONFIRM COMPLETE LIMITS OF IRRIGATION PRIOR TO SUPPLYING SHOP DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION AS A PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR INSTALLATION. IT SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.

IRRIGATION SYSTEM IS NOT TO SPRINKLE ACROSS PAVEMENT. THE SYSTEM SHALL INCORPORATE A RAIN SENSOR INTO IRRIGATION SYSTEM.

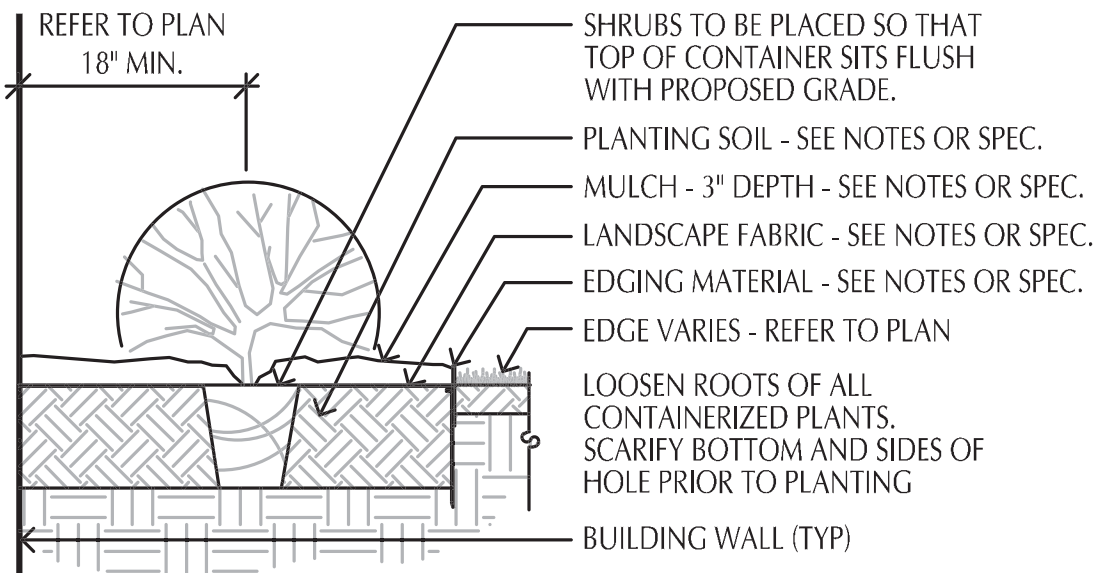
PLANTINGS OUTSIDE THE LIMITS OF IRRIGATION ARE TO BE WATERED REGULARLY UNTIL PLANTING/SOD/SEED HAS BEEN ESTABLISHED.



CALL BEFORE YOU DIG!  
**Gopher State One Call**  
TWIN CITY AREA: 651-454-0002  
TOLL FREE: 1-800-252-1166

**WARNING:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



1 L1-1 SHRUB/PERENNIAL DETAIL  
SCALE: 3/4" = 1'-0"

Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
ARCHITECTS INC  
15650 36TH AVENUE NORTH SUITE 170  
PLYMOUTH, MINNESOTA 55446  
TEL 763-337-9081 / FAX 763-337-9233  
PROJECT # 15203.02

**LOUCKS**  
7200 Hemlock Lane, Suite 300  
Maple Grove, MN 55369  
763-424-3365  
www.loucks.com  
LOUCKS PROJECT NO. 17453

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

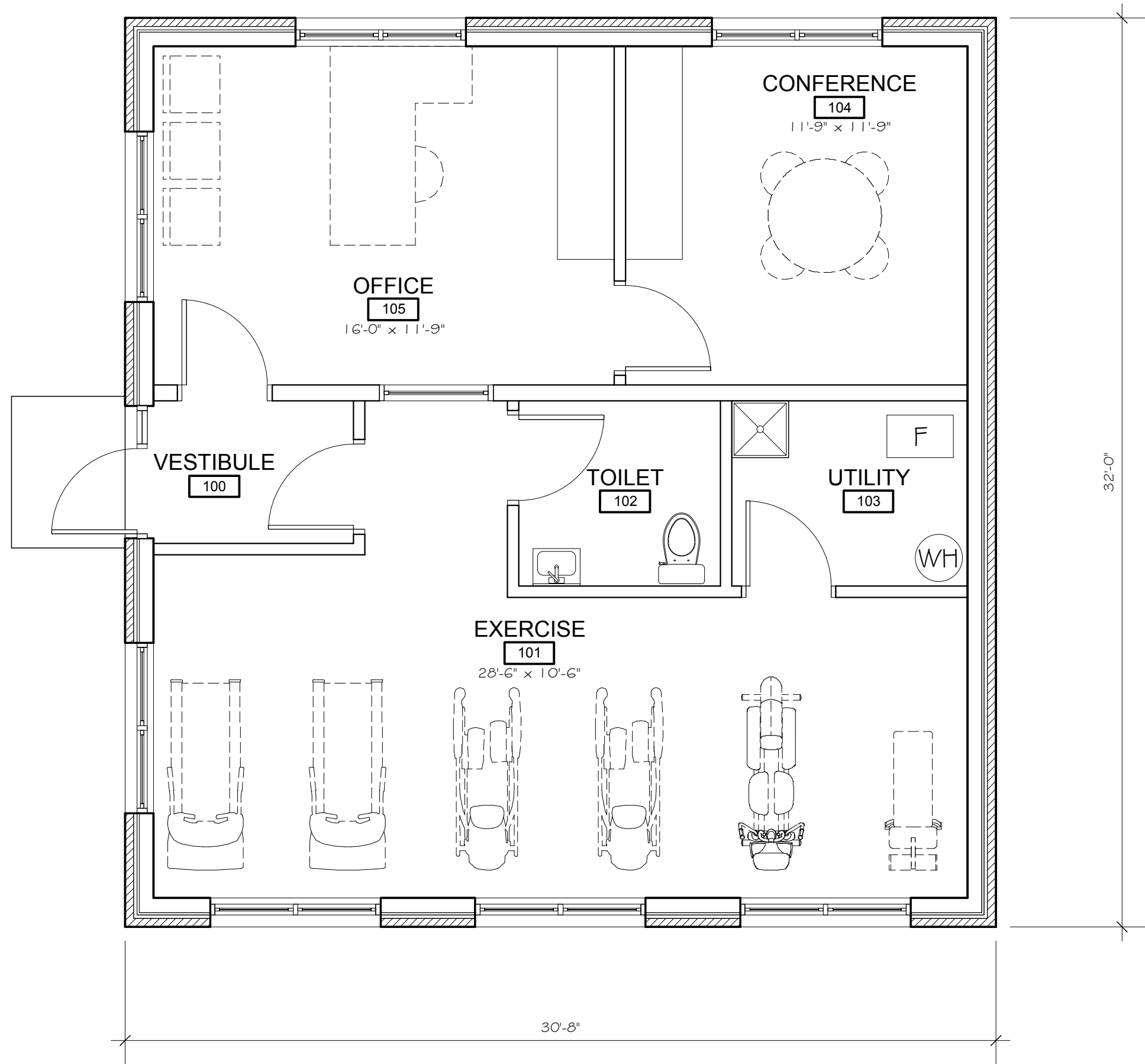
DOUGLAS D. LOKEN - LA  
DATE 02-14-2018 LIC #45591

**ISSUE/REVISIONS**  
02-14-18 CITY SUBMITTAL

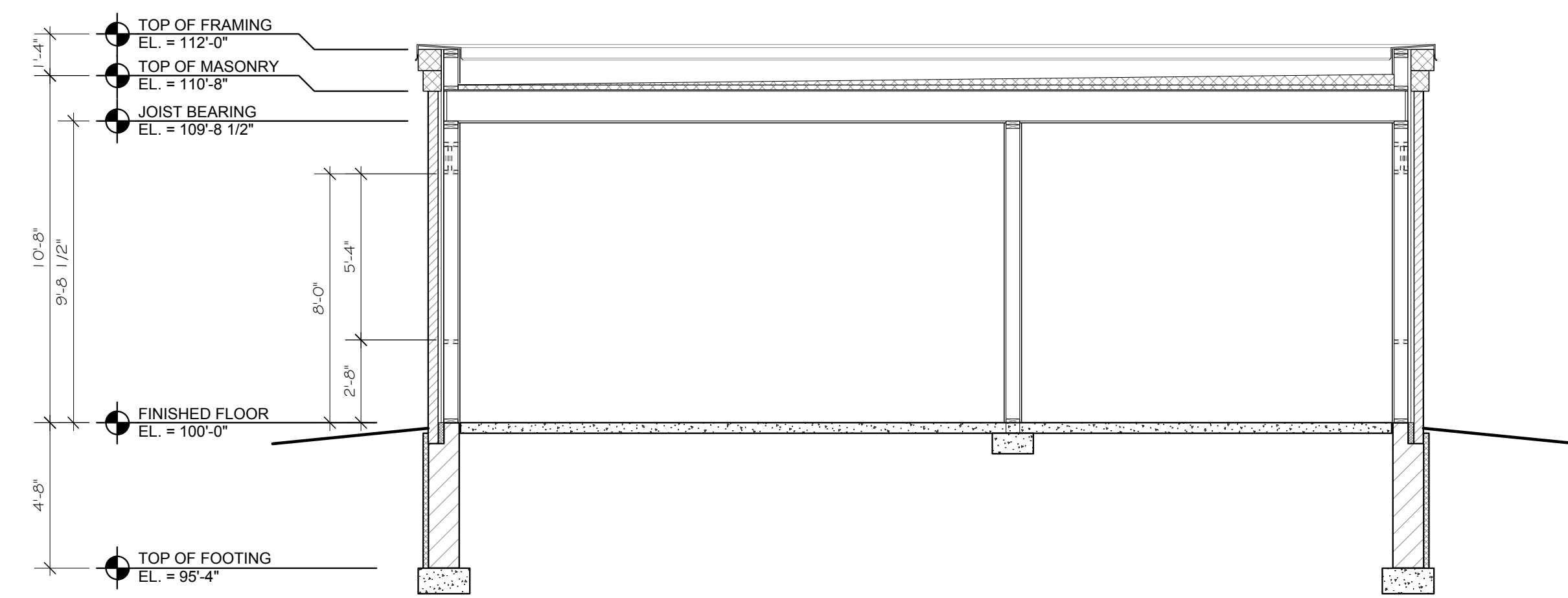
**LANDSCAPE PLAN**

**L1.1**

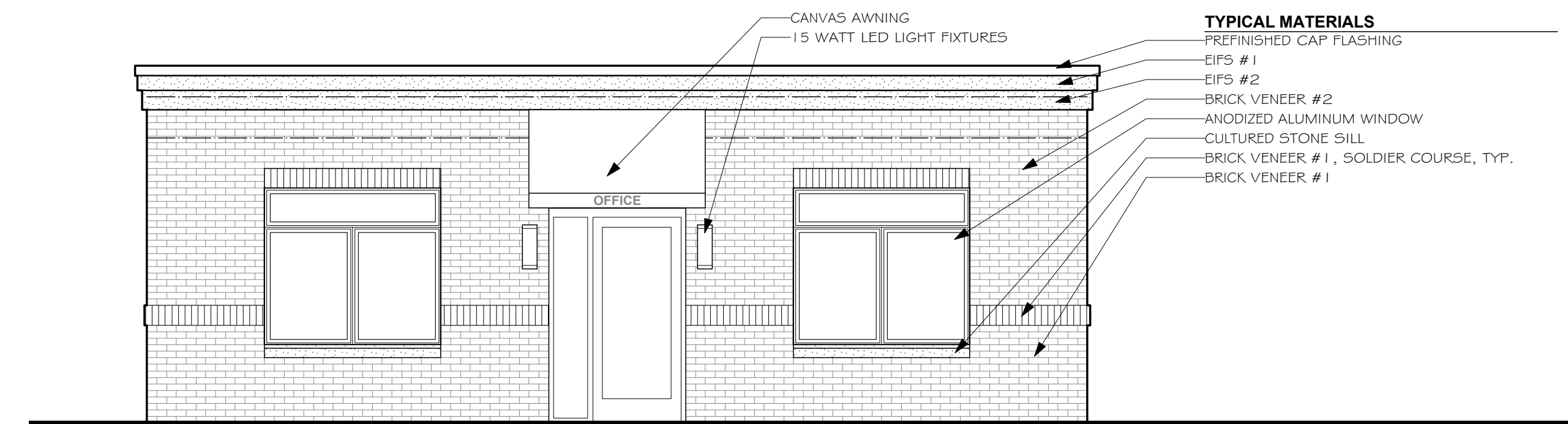




1  
A1  
FLOOR PLAN  
SCALE: 1/4" = 1'-0"



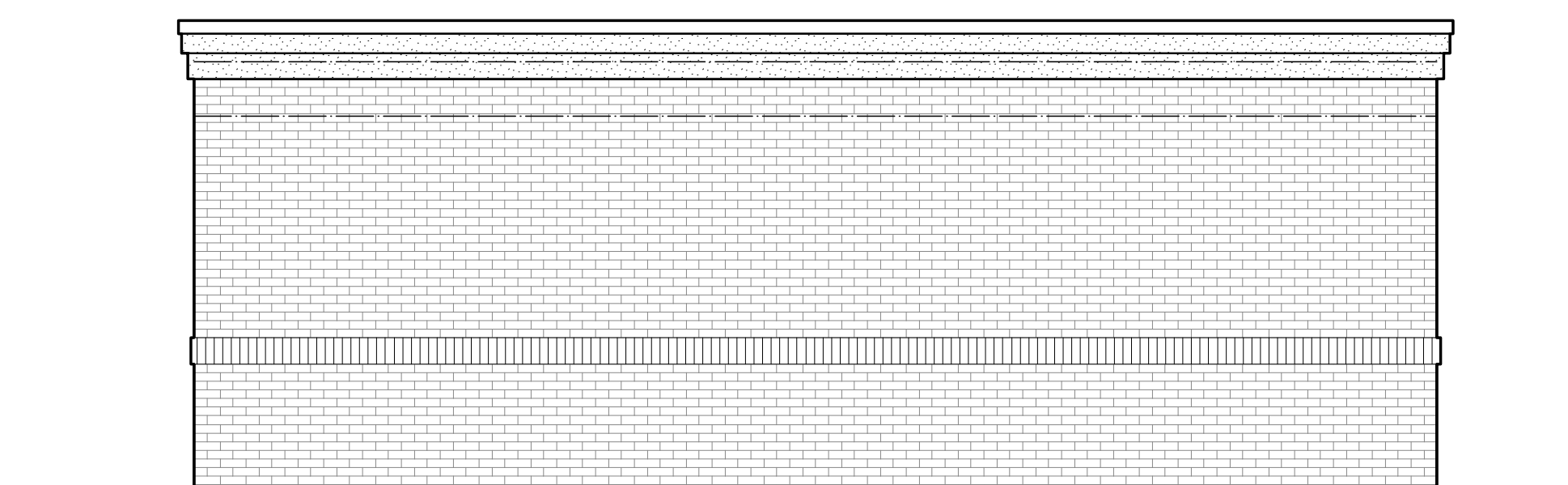
2  
A1  
BUILDING SECTION  
SCALE: 1/4" = 1'-0"



3  
A1  
BUILDING ELEVATION - WEST  
SCALE: 1/4" = 1'-0"



4  
A1  
BUILDING ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"



5  
A1  
BUILDING ELEVATION - EAST  
SCALE: 1/4" = 1'-0"



6  
A1  
BUILDING ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"

Proposed Office Building For:  
**6th Avenue Apartments**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
**ARCHITECTS, INC.**  
15550 36TH AVENUE NORTH, SUITE 170  
BRYAN, MINNESOTA 55446  
TEL 763-557-9081 / FAX 763-557-9233  
PROJECT # 16336.03

ISSUE/REVISIONS  
02-14-2018  
CITY SUBMITTAL

OFFICE PLAN,  
SECTION AND  
ELEVATIONS

**A1**



**Date of Determination:** 02/07/18

**Determination Expiration:** 02/07/20

Greetings!

Please see the determination below.

**Project Name:** 6th Street Apartments  
**Project Address:** 617 North Oaks Drive  
**Suite #/Campus:** N/A  
**City Name:** Osseo  
**Applicant:** Jason Quilling, QT Holdings

**Special Notes:** None

**Charge Calculation:**

Fixture Units: 10.00 fixture units @ 17 fixture units / SAC = 0.59

**Total Charge:** 0.59 or 1 SAC minimum

**Credit Calculation:**

N/A

**Total Credit:** 0

**Net SAC:** 1.00 – or – **1 SAC Due**

The business information was provided to MCES by the applicant at this time. It is the City's responsibility to substantiate the business use and size at the time of the final inspection. If there is a change in use or size, a redetermination will need to be made. If you have any questions email me at: [cory.mccullough@metc.state.mn.us](mailto:cory.mccullough@metc.state.mn.us).

Thank you,

**Cory McCullough**

SAC Technician

Please visit our SAC website by going to: <http://www.metrocouncil.org/SACprogram>

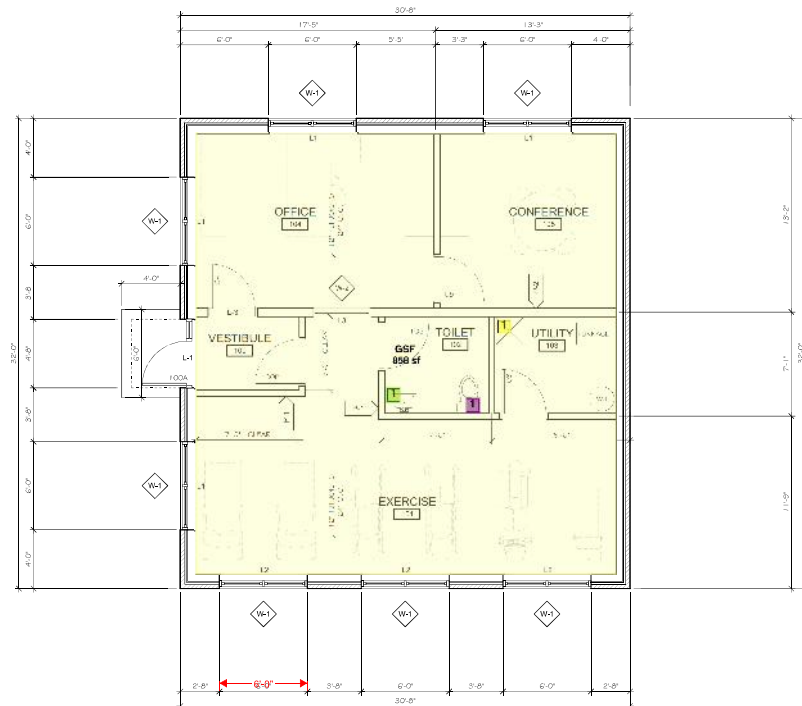


# Proposed Office Building For:

## 6th Street Apartments, LLC

### 617 North Oaks Drive

### Osseo, MN



#### LINTEL SCHEDULE

L-1	(2)2X6	W/100% JAMB STUD
L-2	(2)2X10	W/100% JAMB STUD
L-3	(2)2X10	W/100% JAMB STUD
L-4	(2)2X10	W/100% JAMB STUD
L-5	(2)2X10	W/100% JAMB STUD
L-6	(2)2X10	W/100% JAMB STUD
L-7	(2)2X10	W/100% JAMB STUD
L-8	(2)2X10	W/100% JAMB STUD
L-9	(2)2X10	W/100% JAMB STUD
L-10	(2)2X10	W/100% JAMB STUD
L-11	(2)2X10	W/100% JAMB STUD
L-12	(2)2X10	W/100% JAMB STUD
L-13	(2)2X10	W/100% JAMB STUD
L-14	(2)2X10	W/100% JAMB STUD
L-15	(2)2X10	W/100% JAMB STUD
L-16	(2)2X10	W/100% JAMB STUD
L-17	(2)2X10	W/100% JAMB STUD
L-18	(2)2X10	W/100% JAMB STUD
L-19	(2)2X10	W/100% JAMB STUD
L-20	(2)2X10	W/100% JAMB STUD
L-21	(2)2X10	W/100% JAMB STUD
L-22	(2)2X10	W/100% JAMB STUD
L-23	(2)2X10	W/100% JAMB STUD
L-24	(2)2X10	W/100% JAMB STUD
L-25	(2)2X10	W/100% JAMB STUD
L-26	(2)2X10	W/100% JAMB STUD
L-27	(2)2X10	W/100% JAMB STUD
L-28	(2)2X10	W/100% JAMB STUD
L-29	(2)2X10	W/100% JAMB STUD
L-30	(2)2X10	W/100% JAMB STUD
L-31	(2)2X10	W/100% JAMB STUD
L-32	(2)2X10	W/100% JAMB STUD
L-33	(2)2X10	W/100% JAMB STUD
L-34	(2)2X10	W/100% JAMB STUD
L-35	(2)2X10	W/100% JAMB STUD
L-36	(2)2X10	W/100% JAMB STUD
L-37	(2)2X10	W/100% JAMB STUD
L-38	(2)2X10	W/100% JAMB STUD
L-39	(2)2X10	W/100% JAMB STUD
L-40	(2)2X10	W/100% JAMB STUD
L-41	(2)2X10	W/100% JAMB STUD
L-42	(2)2X10	W/100% JAMB STUD
L-43	(2)2X10	W/100% JAMB STUD
L-44	(2)2X10	W/100% JAMB STUD
L-45	(2)2X10	W/100% JAMB STUD
L-46	(2)2X10	W/100% JAMB STUD
L-47	(2)2X10	W/100% JAMB STUD
L-48	(2)2X10	W/100% JAMB STUD
L-49	(2)2X10	W/100% JAMB STUD
L-50	(2)2X10	W/100% JAMB STUD
L-51	(2)2X10	W/100% JAMB STUD
L-52	(2)2X10	W/100% JAMB STUD
L-53	(2)2X10	W/100% JAMB STUD
L-54	(2)2X10	W/100% JAMB STUD
L-55	(2)2X10	W/100% JAMB STUD
L-56	(2)2X10	W/100% JAMB STUD
L-57	(2)2X10	W/100% JAMB STUD
L-58	(2)2X10	W/100% JAMB STUD
L-59	(2)2X10	W/100% JAMB STUD
L-60	(2)2X10	W/100% JAMB STUD
L-61	(2)2X10	W/100% JAMB STUD
L-62	(2)2X10	W/100% JAMB STUD
L-63	(2)2X10	W/100% JAMB STUD
L-64	(2)2X10	W/100% JAMB STUD
L-65	(2)2X10	W/100% JAMB STUD
L-66	(2)2X10	W/100% JAMB STUD
L-67	(2)2X10	W/100% JAMB STUD
L-68	(2)2X10	W/100% JAMB STUD
L-69	(2)2X10	W/100% JAMB STUD
L-70	(2)2X10	W/100% JAMB STUD
L-71	(2)2X10	W/100% JAMB STUD
L-72	(2)2X10	W/100% JAMB STUD
L-73	(2)2X10	W/100% JAMB STUD
L-74	(2)2X10	W/100% JAMB STUD
L-75	(2)2X10	W/100% JAMB STUD
L-76	(2)2X10	W/100% JAMB STUD
L-77	(2)2X10	W/100% JAMB STUD
L-78	(2)2X10	W/100% JAMB STUD
L-79	(2)2X10	W/100% JAMB STUD
L-80	(2)2X10	W/100% JAMB STUD
L-81	(2)2X10	W/100% JAMB STUD
L-82	(2)2X10	W/100% JAMB STUD
L-83	(2)2X10	W/100% JAMB STUD
L-84	(2)2X10	W/100% JAMB STUD
L-85	(2)2X10	W/100% JAMB STUD
L-86	(2)2X10	W/100% JAMB STUD
L-87	(2)2X10	W/100% JAMB STUD
L-88	(2)2X10	W/100% JAMB STUD
L-89	(2)2X10	W/100% JAMB STUD
L-90	(2)2X10	W/100% JAMB STUD
L-91	(2)2X10	W/100% JAMB STUD
L-92	(2)2X10	W/100% JAMB STUD
L-93	(2)2X10	W/100% JAMB STUD
L-94	(2)2X10	W/100% JAMB STUD
L-95	(2)2X10	W/100% JAMB STUD
L-96	(2)2X10	W/100% JAMB STUD
L-97	(2)2X10	W/100% JAMB STUD
L-98	(2)2X10	W/100% JAMB STUD
L-99	(2)2X10	W/100% JAMB STUD
L-100	(2)2X10	W/100% JAMB STUD

#### STRUCTURAL PLAN NOTES

1. EXTERIOR WALL SHEATHING TO BE 1/2" OSB WITH 6x4 WALK 6" O.C. AT EDGES AND 12" O.C. IN FIELD. ALL PAINTED TO BE FULLY BLOCKED. PROVIDE 6x4 RAILS 4" O.C. AROUND ALL OPENINGS.
2. ANCHOR BOLTS AT EXTERIOR WALLS TO BE 1/2" DIAMETER X 12" LONG 32" O.C. SPACING OF A.B. ON WEST WALL MAY BE 48" O.C.

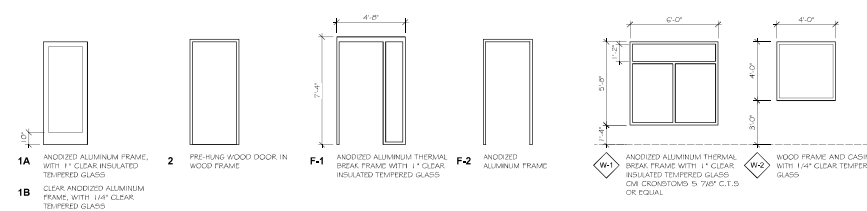
#### GENERAL PROJECT NOTES

1. THIS PROJECT CONSISTS OF BUILDING AN OFFICE/EXERCISE BUILDING AND RELATED SITEWORK.
2. THE CONTRACTOR AND THEIR RESPECTIVE SUB-CONTRACTORS ARE RESPONSIBLE FOR OBTAINING AND PAYING FOR PERMITS, LICENSES, INSPECTIONS AND TESTING NECESSARY FOR THEIR WORK.
3. MECHANICAL AND ELECTRICAL WORK SHALL BE COMPLETED ON A DESIGN-BUILD BASIS, INCLUDING ALL DESIGN AND DOCUMENTATION REQUIRED.
4. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THEIR OWN SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
5. VERIFY LAYOUT INFORMATION SHOWN ON THE DRAWINGS IN RELATION TO EXISTING CONDITIONS BEFORE LAYING OUT WORK.
6. PROVIDE TEMPORARY FACILITIES AS REQUIRED FOR EXECUTION OF THE WORK. REMOVE TEMPORARY FACILITIES WHEN NO LONGER NEEDED.
7. PRIOR TO COMPLETION OF THE WORK, REMOVE FROM THE WORK AREA ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE. CLEAN FLOORS, WALL SURFACES, DOORS AND WINDOWS, AND LIGHT FIXTURES.
8. PROVIDE WASTE COLLECTION CONTAINERS IN LOCATION APPROVED BY OWNER.

#### CODE DATA

2015 MINNESOTA BUILDING CODE, CH. 1300	
OCCUPANCY GROUP:	B
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLED:	NONE REQUIRED OR PROVIDED
EXTERIOR WALL FIRE RESISTANCE:	>10" = NONE REQUIRED
FLOOR AREA:	400 S.F. / 3,000 S.F. ALLOWED
HEIGHT:	1 STORY / 2 STORIES ALLOWED
OCCUPANT LOAD:	400 S.F. / 100 = 4
OFFICE:	400 S.F. / 50 = 8
EXERCISE:	40 S.F. / 300 = 12
UTILITY:	48" / 7'5" ALLOWED
TRAVEL DISTANCE:	1 PREPARED / 1 PROVIDED
EXTS:	

#### FRAME DOOR AND WINDOW TYPES



#### ROOM FINISH SCHEDULE

ROOM			FLOOR FINISH	BASE MATERIAL	WALLS	CEILING FINISH	HEIGHT
ID#	NAME						
101	VESTIBULE		LVP	SB	PASTE	ACT	8'-0"
102	OFFICE		CT	SB	PASTE	ACT	8'-0"
103	TOILET		CT	CT	CEMENT	ACT	8'-0"
104	UTILITY		CONC	SB	PASTE	OPEN	
105	OFFICE		LVP	SB	PASTE	ACT	8'-0"
106	CONFERENCE		LVP	SB	PASTE	ACT	8'-0"

#### FINISHES

ACT	ACOUSTICAL CEILING TILE AND GRID
CT	CERAMIC TILE
LVP	LAMINATED VINYL PLANK
SB	RESILIENT BASE
RT	RUBBER TILE

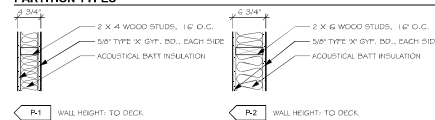
#### DOOR SCHEDULE

DOOR				FRAME		HDWE	
ID#	SIZE	TYPE	FINISH	TYPE	FINISH	GROUP	
100A	8'-0" X 7'-0"	1A	ANODIZED	F-1	ANODIZED	1	
100B	8'-0" X 7'-0"	1B	ANODIZED	F-2	ANODIZED	2	
102	8'-0" X 7'-0" X 1 3/4"	2	REV.	-	REV.	3	
103	8'-0" X 7'-0" X 1 3/4"	2	REV.	-	REV.	4	
104	8'-0" X 7'-0"	1B	ANODIZED	F-2	ANODIZED	5	

#### HARDWARE GROUPS

1. PUSH/PULL BARS, DEAD LATCH W/ PADLOCK, NIP HINGES, CUSH CLOSER, ACCESSIBLE THRESHOLD, WEATHERSTRIP
2. LEVER STOREROOM LOCKSET, HINGES, CLOSER, WALL STOP
3. LEVER PRIVACY LOCKSET, HINGES, WALL STOP, COAT HOOK
4. LEVER STOREROOM LOCKSET, HINGES, CLOSER W/ HOLD OPEN ARM, WALL STOP
5. LEVER OFFICE / ENTRANCE LOCKSET, ELECTRIC STRIKE, HINGES, CLOSER, WALL STOP - VERIFY LOCATION OF STRIKE ACTIVATOR BUTTON W/ OWNER
6. LEVER OFFICE / ENTRANCE LOCKSET, HINGES, WALL STOP

#### PARTITION TYPES



#### PARTITION NOTES

1. PROVIDE WOOD STUDS, SIZE AND SPACING INDICATED. PROVIDE DOUBLE STUDS AT DOOR JAMBS.
2. PROVIDE BLOCKING TO SUPPORT SURFACE MOUNTED FIXTURES AND/OR EQUIPMENT.
3. INSTALL GYPSUM BOARD VERTICALLY TO AVOID END-BUTT JOINTS. STAGGER JOINTS ON OPPOSITE SIDES OF PARTITIONS. FINISH LEVEL 4 FOR PAINTED SURFACES. HOLD GYPSUM BOARD OFF FLOOR 1/4".
4. UNFACED FIBERGLASS ACOUSTICAL BATT INSULATION WHERE INDICATED. THICKNESS TO MATCH STUD DEPTH. CUT AND FIT TIGHTLY AROUND PENETRATIONS AND FILL ALL Voids.
5. PROVIDE TILE BACKER AT ALL PARTITIONS TO RECEIVE WALL TILE FINISH.



Proposed Office Building For:  
**6th Street Apartments, LLC**  
617 North Oaks Drive  
Osseo, MN

**Paul Meyer**  
ARCHITECTS, INC.  
10000 RYAN DRIVE, SUITE 200  
MINNEAPOLIS, MN 55425  
TEL: 781.257.7400 / FAX: 781.257.7402  
PROJECT # 1503.02

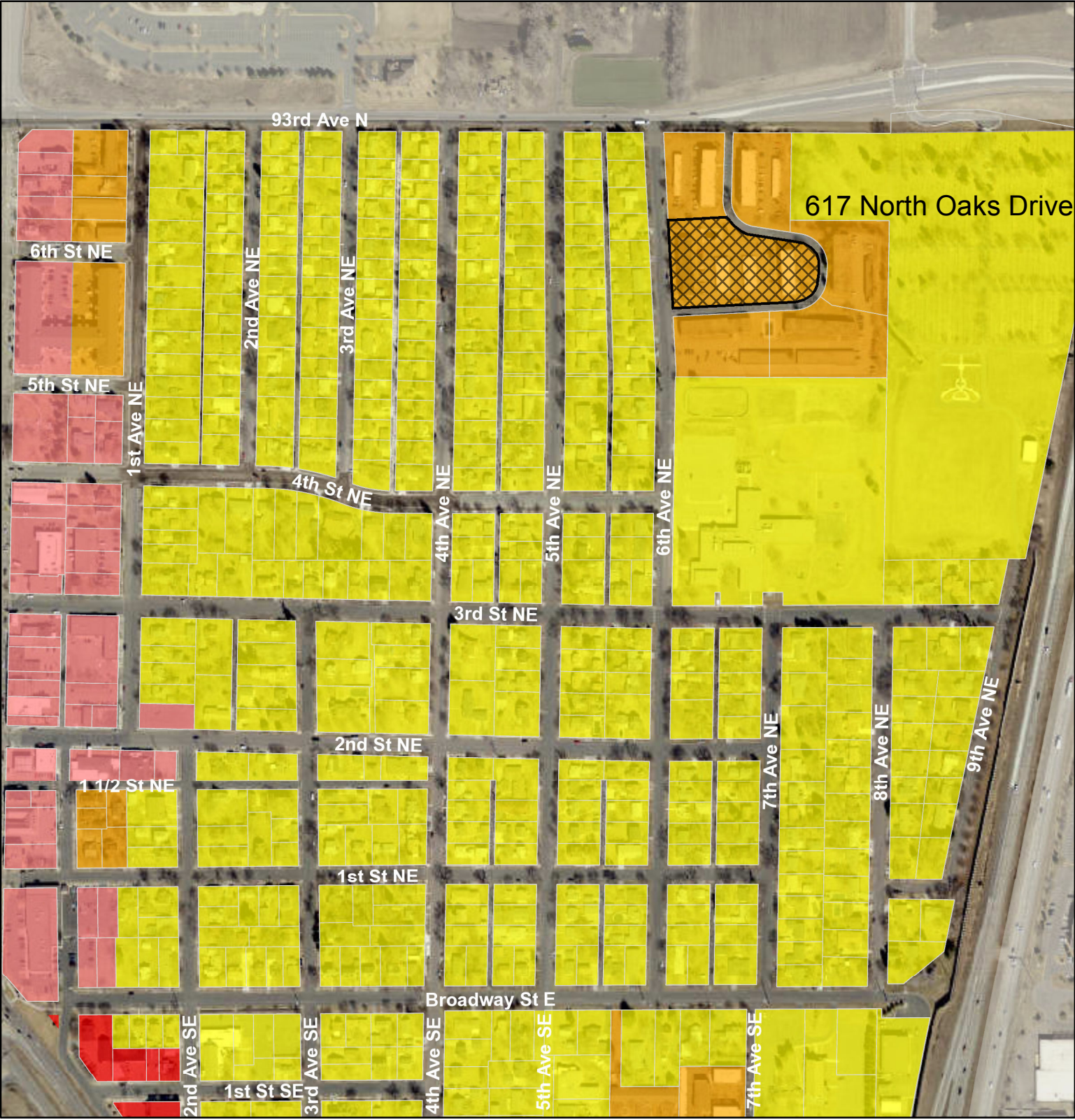
ISSUE/REVISIONS  
01-11-2015

FLOOR PLAN,  
CODE DATA,  
WALL TYPES,  
OPENINGS

**A1.1**



# 617 North Oaks Drive: Site-Building Plan Review



1 inch = 400 feet



February 22, 2018

Map Powered by DataLink  
from WSB & Associates

## Zoning Classification

- Central Business District (CBD)
- Highway Commercial District North (C2N)

- Highway Commercial District South (C2S)
- Manufacturing and Industrial District (M)

- One and Two Family Residential District (R-1)
- Multi-Family Residential District (R-2)
- Public Institution District (PI)





## City of Osseo

415 Central Avenue  
Osseo, MN 55369-1195

P 763.425.2624 F 763.425.1111

[www.DiscoverOsseo.com](http://www.DiscoverOsseo.com)

# NOTICE

## Planning Commission Public Hearing

- APPLICANT:** Jason Quilling for 6<sup>th</sup> Street Apartments, LLC
- LOCATION:** 617 North Oaks Drive
- REQUEST:** Site and Building Plan Approval
- TIME OF HEARING:** Monday, March 19, 2018 at 6:00 p.m. – City Hall Council Chambers
- HOW TO PARTICIPATE:**
- 1) You may attend the hearing and state your comments;
  - 2) You may send a letter before the hearing to the City of Osseo, Planning Department, 415 Central Avenue, Osseo, MN 55369 or fax to 763-425-1111; or
  - 3) You may send an email to [nabts@ci.osseo.mn.us](mailto:nabts@ci.osseo.mn.us)

If you want your comments to be made part of the public record, your letter, email, or fax must state your first and last name and your address. Thank you in advance for your cooperation.

- ANY QUESTIONS:** Please contact City Planner Nancy Abts at 763-425-1454 with the following information:

Project Name: 617 North Oaks Drive Site Plan Approval

You may visit City Hall (415 Central Avenue) during business hours to discuss the proposal, or visit our website after March 15, 2018 at <http://www.discoverosseo.com/departments/planning-commission/>

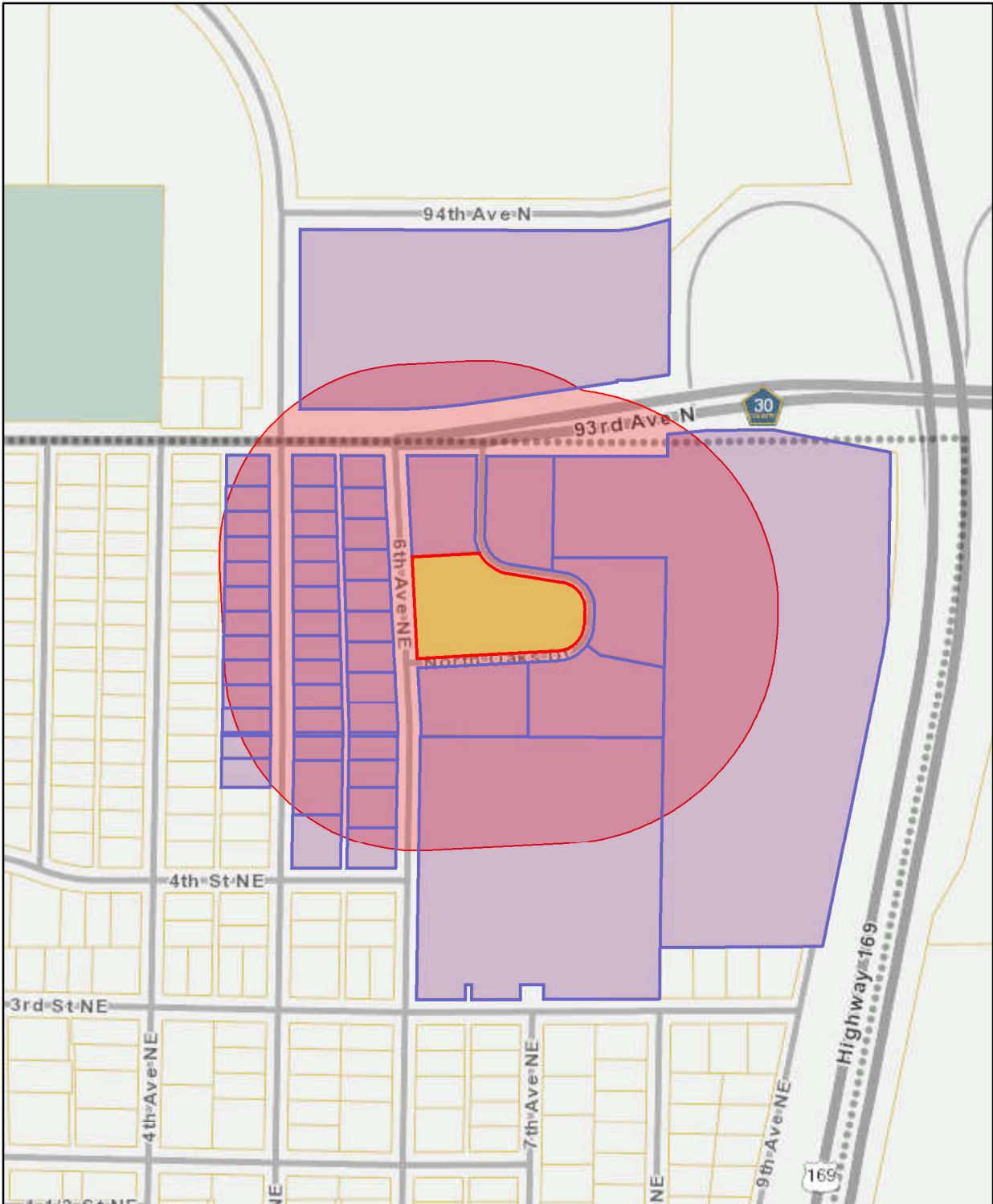
**Publication Date:** The Press (March 8, 2018)





# Hennepin County Locate & Notify Map

Date: 2/22/2018



**Buffer Size:** 500 feet

**Map Comments:**

0 120 240 480 ft  
|-----|-----|-----|-----|

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

For more information, contact Hennepin County GIS Office  
300 6th Street South, Minneapolis, MN 55487 / [gis.info@hennepin.us](mailto:gis.info@hennepin.us)



RE-LOAD INVESTMENTS LLC  
ATTN MICHAEL J GRESSER  
2905 LEXINGTON AVE S  
EAGAN MN 55121

ST VINCENT DE PAUL CHURCH  
9100 93RD AVE N  
BROOKLYN PARK MN 55445

OSSEO SCHOOL DIST NO 279  
11200 93RD AVE N  
MAPLE GROVE MN 55369

MATTHEW T WILLS  
641 5TH AVE N E  
OSSEO MN 55369

D M HASBARGEN & J A MIKOLAI  
633 5TH AVE N E  
OSSEO MN 55369

P J STANTON & C A STANTON  
625 5TH AVE N E  
OSSEO MN 55369

THOMAS W KNAPP  
PATRICIA A KNAPP  
617 5TH AVE N E  
OSSEO MN 55369

MARK STEVEN KRIEG  
609 5TH AVE N E  
OSSEO MN 55369

CERBERUS SFR HOLDINGS L P  
C/O COLD RIVER LAND LLC  
P O BOX 2249  
CUMMING GA 30028

KYLE M GEDATUS  
533 5TH AVE N E  
OSSEO MN 55369

DEREK J SCHACK  
BRANDI L SCHACK  
525 5TH AVE N E  
OSSEO MN 55369

LAINE S & NANCY J GEBHARDT  
517 5TH AVE N E  
OSSEO MN 55369

KRISTI KOTHRAD  
509 5TH AVE NE  
OSSEO MN 55369

ANTHONY M & DAWN M SPINLER  
501 5TH AVE N E  
OSSEO MN 55369

ALAN & KATHERINE KOWALCHYK  
25061 BAY CEDER DRIVE  
BONITA SPRINGS  
FL 34134

JESSE J PETERSON  
LISA A PETERSON  
632 5TH AVE N E  
OSSEO MN 55369

TODD W & DAWN L TESSMAN  
624 5TH AVE N E  
OSSEO MN 55369

LESLIE J EIDEN  
616 5TH AVE N E  
OSSEO MN 55369

KELLY J MCCONVILLE  
KRISTY I MCCONVILLE  
608 5TH AVE N E  
OSSEO MN 55369

ROBERT D HEIN  
SALLY M HEIN  
600 5TH AVE N E  
OSSEO MN 55369

ROBERT & BETTY ROBIDEAU  
532 5TH AVE N E  
OSSEO MN 55369

LEE RITTER & SUE RITTER  
524 5TH AVE N E  
OSSEO MN 55369

DIANA L LAHD  
516 5TH AVE N E  
OSSEO MN 55369

KATHARINE ELIZABETH METHUM  
508 5TH AVE N E  
OSSEO MN 55369

STACY L & TIMOTHY M POLICH  
500 5TH AVE N E  
OSSEO MN 55369

CITY OF OSSEO  
415 CENTRAL AVENUE  
OSSEO  
MN 55369

TIMOTHY M & STACY L POLICH  
500 5TH AVE N E  
OSSEO MN 55369

MOLLY BURNS  
433 6TH AVE N E  
OSSEO MN 55369

MICHAEL W MACK  
425 6TH AVE N E  
OSSEO MN 55369

DUANE E & AMY L POPPE  
408 5TH AVE N E  
OSSEO MN 55369



SUZANNE M PACE  
432 5TH AV NE  
OSSEO MN 55369

CATHERINE M SOBRASKE  
429 5TH AVE N E  
OSSEO MN 55369

MICHAEL MUELLER  
ASHLEE THOSTENSON  
423 5TH AVE N E  
OSSEO MN 55369

CHRIST F & JOYCE M JENSEN  
22275 CO RD NO 117  
ROGERS MN 55374

RANDALL E KELLAR TRUSTEE  
KAREN L KELLAR TRUSTEE  
633 6TH AVE N E  
OSSEO MN 55369

MARION B FAUE-BERGE TRUST  
RHONDA SCHLEGEL  
19705 CTY RD 30  
CORCORAN MN 55340

PAUL F FERGUSON  
617 6TH AVE N E  
OSSEO MN 55369

BRUCE J DAHLHEIMER  
609 6TH AV NE  
OSSEO MN 55369

RAYMOND/PAMELA MC DONALD JR  
601 6TH AVE N  
OSSEO MN 55369

MARK R & LUJEAN K RUEL  
517 6TH AVE N E  
OSSEO MN 55369

TIMOTHY J PASKE  
509 6TH AVENUE NE  
OSSEO MN 55369

MAYNARD R EDER  
501-6TH AVE N E  
OSSEO MN 55369

6TH ST APTS LLC  
C/O Q T HOLDINGS LLC  
6909 WINNETKA AVE N  
BROOKLYN PARK MN 55428

6TH ST APTS LLC  
C/O Q T HOLDINGS LLC  
6909 WINNETKA AVE N  
BROOKLYN PARK MN 55428

6TH ST APTS LLC  
C/O Q T HOLDINGS LLC  
6909 WINNETKA AVE N  
BROOKLYN PARK MN 55428

STERLING PROPERTIES L L C  
P O BOX 5093  
HOPKINS MN 55343

MAYNARD & CAROL EDER  
501 6TH AVE N E  
OSSEO MN 55369

STERLING PROPERTIES L L C  
PO BOX 5093  
HOPKINS MN 55343

STERLING PROPERTIES L L C  
PO BOX 5093  
HOPKINS MN 55343

KENNETH J FELBER  
424 5TH AVE N E  
OSSEO MN 55369

ERIN M HENTE  
417 6TH AVE N E  
OSSEO MN 55369

CAROL B EMMANS  
401 6TH AVE N E  
OSSEO MN 55369



Occupant  
616 North Oaks Drive  
Unit 102  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 103  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 104  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 105  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 106  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 107  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 201  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 202  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 203  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 204  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 205  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 206  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 207  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 208  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 301  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 302  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 303  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 304  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 305  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 306  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 307  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 308  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 101  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 102  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 103  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 104  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 105  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 201  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 202  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 203  
Osseo, MN 55369



Occupant  
617 North Oaks Drive  
Unit 204  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 205  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 206  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 301  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 302  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 303  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 304  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 305  
Osseo, MN 55369

Occupant  
617 North Oaks Drive  
Unit 306  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 101  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 102  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 103  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 104  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 105  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 106  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 107  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 201  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 202  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 203  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 204  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 205  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 206  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 207  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 208  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 301  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 302  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 303  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 304  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 305  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 306  
Osseo, MN 55369



Occupant  
624 North Oaks Drive  
Unit 307  
Osseo, MN 55369

Occupant  
624 North Oaks Drive  
Unit 308  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 101  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 102  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 103  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 104  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 105  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 106  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 107  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 201  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 202  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 203  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 204  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 205  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 206  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 207  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 208  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 301  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 302  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 303  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 304  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 305  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 306  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 307  
Osseo, MN 55369

Occupant  
625 North Oaks Drive  
Unit 308  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 101  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 102  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 103  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 104  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 105  
Osseo, MN 55369



Occupant  
616 6th Ave NE  
Unit 106  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 107  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 201  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 202  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 203  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 204  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 205  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 206  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 207  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 208  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 301  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 302  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 303  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 304  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 305  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 306  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 307  
Osseo, MN 55369

Occupant  
616 6th Ave NE  
Unit 308  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 101  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 102  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 103  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 104  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 105  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 106  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 107  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 108  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 109  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 201  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 202  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 203  
Osseo, MN 55369



Occupant  
608 North Oaks Drive  
Unit 204  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 205  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 206  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 207  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 208  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 209  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 210  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 301  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 302  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 303  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 304  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 305  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 306  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 307  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 308  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 309  
Osseo, MN 55369

Occupant  
608 North Oaks Drive  
Unit 310  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 101  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 102  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 103  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 104  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 105  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 106  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 107  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 108  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 109  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 201  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 202  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 203  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 204  
Osseo, MN 55369



Occupant  
600 North Oaks Drive  
Unit 205  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 206  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 207  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 208  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 209  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 210  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 301  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 302  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 303  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 304  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 305  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 306  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 307  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 308  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 309  
Osseo, MN 55369

Occupant  
600 North Oaks Drive  
Unit 310  
Osseo, MN 55369

Occupant  
616 North Oaks Drive  
Unit 101  
Osseo, MN 55369





Approximate building site from east (Parking Lot)



Approximate building site from west (6<sup>th</sup> Avenue)



Current picnic area



Current dumpster enclosure—screened from street





Approximate building site in the dark







## Osseo Planning Commission Meeting Item

**Agenda Item:** Consider Plan Approval for 340 Central Avenue

**Meeting Date:** March 19, 2018

**Prepared by:** Nancy Abts, City Planner

**Attachments:**

- Site Plan Application
- Acknowledgement of Responsibility
- Narrative
- Drawing Set
- Zoning Map
- Public Hearing Notice
- Public Hearing Distribution Map & Mailing Labels

**Policy Consideration:**

The new owners of 340 Central Avenue seek a site plan approval for proposed renovations to their building.

**Previous Action or Discussion:**

The Planning Commission has previously reviewed a Zoning Code text amendment (approved by the City Council on September 11, 2017) and Conditional Use Permit for Artisan Manufacturing (approved by City Council on October 23, 2017) at this site.

**Background:**

The property is in the Central Business District (CBD), just south of Boerboom Park. Jesse Dickinson and his brother Jordan are now owners of the property. They intend to move their custom coachbuilding business, Union Speed and Style, to 340 Central Avenue once renovations are complete.

**Analysis for Site Plan Approval**

As a reminder on what Site Plan approval consists of, Osseo Code **§153.153 SITE PLAN APPROVAL** explains the following:

(A) Site and Building Plan Approval Required. It is declared to be the policy of the city to preserve and promote attractive and stable business environments for its citizens through encouraging well-conceived, high quality developments. To this end, imaginative site design concepts shall be employed in the development and redevelopment of respective sites. ... this site plan approval process applies to all new construction in the ... the High-Density Residential District (R-2), ... that involves one or more of the following:

(1) New construction;



- (2) Construction or reconstruction that substantially alters the floor area of the building greater than or equal to 10%;
- (3) Construction or reconstruction involving modification or replacement of the exterior materials on the building; or
- (4) Construction or reconstruction to change the configuration of the parking area.

Because this project substantial alteration of the floor area and replacement of exterior materials, a site plan approval is required.

Setbacks:

The Central Business District (CBD) allows 0' setbacks for this property. However, the property line appears to run through the middle of the alley. Because this alley one of the areas of the city identified for future improvements on the 2018 Capital Improvement Planning map, the City will need a dedicated Right-of-Way from the property owner before that work can proceed. The applicant has verbally agreed to grant the necessary easement when the time comes.

Parking: The applicant does not indicate specific on-site parking spots in their plans. Approximately seven unmarked off-street parking spaces are currently located on the neighboring 332 Central property, and approximately seven on-street parking spaces are located immediately adjacent to the property. For an Artisan Manufacturing use, the minimum number of off-street parking spaces is 0.75 per each employee on maximum shift or one per 1,500 square feet. This would result in 8 spots with a maximum of 10 employees (5 spots would be required based on the square footage). Staff believe 2 compliant parking spots could be located in the rear of the building. However, this property is located in the Central Business District. The City Council may approve off-street parking reductions in the CBD.

The City may choose to add a minimum parking requirement, or require a joint parking agreement with the adjacent 332 Central property, if there are concerns about parking for the use.

Access: The building is accessible from 4<sup>th</sup> Avenue NE, Central Avenue, and an alley between Central Avenue and 1<sup>st</sup> Ave NE. The proposed renovations will not restrict access. However, the garbage enclosure and driveway fence are shown as swinging across the alley. These features should be maintained so that they do not violate City ordinances regarding obstructing a public way (See § 93.18 (B) and (H)).

Landscaping and Green Space: In the CBD, lots may be 100% covered with no green space. Other landscaping minimums in the CBD require one tree for every 1,000 square feet of total building area. Including the mezzanine and lower level, there is approximately 8,500 square feet of usable space shown on the plans, requiring 9 trees. There are currently 3 trees on the street near the 340 Central Building. In instances where the landscaping cannot be accommodated on site, they may be placed in a park or city right-of-way, as approved by the City Council.

Storm Drainage: Because the project no site disturbance, the project is not required to obtain a permit from the West Mississippi Watershed Management Organization. After consulting with the Public Works Department, there are significant concerns about roof drainage from this property. The north side of the property currently drains directly onto the sidewalk on 4th Street NE. This is considered a public nuisance, and with this winter's freeze-thaw cycles has caused significant ice buildup on the sidewalk. Gutters will need to be extended along the length of the building. Public Works also recommends the downspouts from the gutters are connected directly to the catch basin along 4<sup>th</sup> Street.

The applicant has noted that drainage improvements on the north side of the building will be coordinated with the Public Works Department.

On a related note, the City of Osseo assesses stormwater utility fees on a per parcel basis, with adjustments for extremely large parcels. In the future, the property at 340 Central could be combined with the property at 332



Central through a Lot Combination process. The City Accountant estimates this would result in an approximate \$400 annual savings for the property owner.

Utilities: Any necessary payment for Sewer Availability Charge (SAC) fees must be made prior to issuance of any building permits.

Exterior Materials: The exterior finishes indicated on the plans are permitted by City Code. The building appearance is consistent with other buildings in the district and surrounding residential areas. The applicant does propose using blasting with sand or another media to remove existing paint. Best practices for historic building preservation warn against abrasive cleaning<sup>1</sup>. However, no ordinances prohibit this potentially-destructive practice.

Trash Enclosures: In the Central Business District, trash and trash equipment must be screened from eye-level view of streets and adjacent residential properties. The proposed improvements meet this requirement.

Lighting: Exterior lighting is provided by streetlights and bollards. Locations for new exterior lighting are also indicated on the reflected ceiling plan. The plans were reviewed by Officer Mortinson from the Osseo Police Department, who recommended exterior lights be added in the locations indicated.

Signage: No new signage is currently specified. When future signs are added, the property owner must apply for and receive necessary permits.

#### Period of Approval

According to City Code, "An approved Site and Building Plan shall lapse and become null and void one year following the date on which the application was approved, unless prior to the expiration of one year, the Building Official issues a building permit and construction is commenced toward completion on the subject site. A Site and Building Plan may be renewed for a period of one year by the City Council."

#### **Recommended Conditions of Site-Building Plan Approval**

1. The improvements shall match the site plan submitted for approval by the City Council;
2. Any necessary payment for SAC charges must be made prior to issuance of any building permits;
3. The applicant shall obtain all necessary building and sign permits and pay all fees related to the proposed improvements;
4. Weeds and other vegetation shall be maintained at all times in accordance with Chapter 93.38 of the City Code;
5. All trash shall be stored within a properly-screened enclosure.
6. The site plan will be valid for one year following the date of approval, unless work begins toward completion within one year or the approval is renewed for a period of one year by the City Council.

#### **Budget or Other Considerations:**

The \$500 application fee is intended to cover in-house staff costs for reviewing the application. Additional engineering and legal costs may be billed to the applicant.

Following receipt of a complete application packet, the City has 60 days to issue a decision on a zoning request. Drawing for the application were submitted on March 13, 2018. A final decision on the Site Plan should be issued by May 12, 2018. This deadline can be extended by the City by up to 60 days, if more time is needed to consider the application.

---

Grimmer, A. E. (1979, June). 6: Dangers of Abrasive Cleaning to Historic Buildings. Retrieved from National Park Service: Preservation Briefs:

<https://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>



**City Goals Met By This Action:**

Develop and implement the Comprehensive Plan Update  
Increase communication with citizens and encourage citizen engagement  
Promote a healthy and high quality standard of living  
Plan and provide for safe and quality housing options

**Procedures:**

The Planning Commission should make a motion, second, and vote to open the Public Hearing. After members of the public have had an opportunity speak and any written comments have been entered into the record, the Planning Commission should make a motion, second, and vote to close the Public Hearing.

Following the Public Hearing, the Planning Commission should vote on a recommendation to the City Council.

**Options:**

The Planning Commission may choose to ***make the following recommendation*** to the City Council:

1. Approve the site-building plan, subject to the listed conditions of approval;
2. Approve the site-building plan, with noted changes/as amended;
3. Deny the site-building plan;
4. Table action on this item for more information.

**Recommendation/Action Requested:**

Regarding the Site-Building Plan Approval request, Staff recommends the Planning Commission choose option (1)  
Approve the site-building plan, subject to the listed conditions of approval.

**Next Step:**

The items will be placed on a subsequent City Council meeting for consideration and approval.





**Application For:  
Site and Building Plan Review**

415 Central Avenue, Osseo, MN 55369  
Phone 763.425.2624  
Fax 763.425.1111

*Information provided may be considered public data pursuant to data practices law and the City will comply with all applicable laws if the information is subject to a data request.*

**Property Information:**

Site address: 340 Central Ave

Property identification number: 1811921220137

Property legal description: Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Tract/Addition: \_\_\_\_\_

Property type (check one): Abstract: \_\_\_\_\_ Torrens: \_\_\_\_\_

Description of request: We would like to obtain a  
Building permit.

Reason for request: See above.

**Applicant Information:**

Name: Jesse Dickinson Daytime phone: 612-226-0181

Address: 1796 137<sup>th</sup> St. NW Email Address: Dimazeav@gmail.com  
Monticello, MN 55362

Applicant agrees to reimburse the City of all legal and/or engineering costs incurred by the City, provide 15 copies (11x17) of site plan/drawings/survey for submittal, and pay any additional water and/or sewer assessments that may be due pending a check of City records.

*If request is granted, applicant agrees to proceed with the actual construction in accordance with the plans here with submitted within six (6) months from date of filing this application and will complete construction within one (1) year of said date; and is able from a financial, legal, and physical basis to do so.*

Signature: Jesse Dickinson Date: 2-15-18



**Property Owner Information:**

Name: Zephyr Investments Daytime phone: 612-226-0181  
Address: 2076 Grand Ave Email Address: Dmazeau@gmail.com  
Saint Paul, MN 55105  
Signature: [Signature] Date: 2-15-18

*The City of Osseo requires that the Property Owner sign and date all land use applications.  
Applications will not be accepted unless the Property Owner has signed the application.*

.....  
**For City use only:**

Receipt number: 143811 Date received: 2/21/18 (\$500 Application Fee)  
Any other fees? \_\_\_\_\_ Received by: CSA6ts  
Notice to press date: March 1 Press publication date: March 8  
Scheduled Planning Commission date: March 19  
Scheduled City Council date: March 26





415 Central Avenue  
Osseo, MN 55369  
Phone 763.425.2624  
Fax 763.425.1111

### ACKNOWLEDGEMENT OF RESPONSIBILITY

This is to certify that I am making application for the described action by the City and that I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name and I am the party whom the City should contact regarding any matter pertaining to this application.

I have read and understand the instructions supplied for processing this application. The documents and/or information I have submitted are true and correct to the best of my knowledge. I will keep myself informed of the deadlines for submission of material and of the progress of this application.

I further understand that additional fees incurred by the City such as engineering or legal costs will be my responsibility.

I agree to allow access by City personnel to the property for purposes of review of my application and to erect a temporary sign indicating the application proposed.

Date

2-15-18

Signature of Applicant

Jesse

Name and Address of Applicant  
(Please Print)

Zephyr Investments, L.L.C.  
2076 Grand Ave  
Saint Paul, MN 55105

Phone Number

612-226-0181

Email Address

Dimazeay@gmail.com

Name and Address of Contact  
(If Other Than Applicant)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Phone Number

\_\_\_\_\_

Email Address

\_\_\_\_\_



### 340 Central Avenue Narrative

The purpose of the request for a building permit for 340 central avenue is to allow us to improve and restore the structures on the property. Work to include but not limited to; various window and door replacement, brick sandblasting, brick repair, brick tuck pointing, new siding on the two eastern structures, new roof of the south east structure, electrical upgrades, HVAC upgrades, plumbing upgrades, insulation upgrades, installation of a fire suppression system, along with other various improvements that come with remodeling a building that is 100 years old. We plan to better segment out the tenant space on the north side of the property as well as completely redo the current work space and retail layout. We will also be redoing the bathroom layout to meet ADA compliance. Our intention is to restore the building to its usable proper state.

Regards,  
Jesse Dickinson  
612-226-0181



# Union Speed & Style

340 Central Avenue  
Osseo, MN 55369

## PROJECT DIRECTORY

### OWNER:

UNION SPEED & STYLE  
PO BOX 524  
112 WEST RIVER STREET  
MONTICELLO, MN  
CONTACT: JESSE DICKINSON  
612.226.0181  
JORDAN DICKINSON  
763.229.2019

### PROJECT ARCHITECT:

YELLOW DOG STUDIO  
2744 LYNDALE AVENUE  
MINNEAPOLIS, MN 55408  
PHONE: 612.251.1316  
CONTACT: KIM BATCHELLER  
kim@yellowdogstudio.com

## PROJECT SHEET INDEX

### SHEET INDEX:

A000	COVER SHEET
A001	CODE REVIEW
A002	OCCUPANCY & EGRESS FLOOR PLAN – LEVELS 01 & MEZZANINE
A003	SITE PLAN
A004	ACCESSIBILITY DETAILS
D100	DEMOLITION FLOOR PLAN – LEVELS 01 & MEZZANINE
A100	FURNITURE FLOOR PLAN – LEVELS 01 & MEZZANINE
A110	CONSTRUCTION FLOOR PLAN – LEVELS 01 & MEZZANINE
A120	REFLECTED CEILING FLOOR PLAN – LEVELS 01 & MEZZANINE
A200	EXTERIOR ELEVATIONS – LEVELS 01 & MEZZANINE
A201	EXTERIOR ELEVATIONS – LEVELS 01 & MEZZANINE
A202	EXTERIOR ELEVATIONS – LEVELS 01 & MEZZANINE
A203	INTERIOR ELEVATIONS – LEVELS 01 & MEZZANINE
A300	ENLARGED PLAN & ELEVATIONS – LEVELS 01 & MEZZANINE



Certification  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_

Name: **Kim M. Batcheller**

Date: \_\_\_\_\_ Reg.No.: **53229**

### Drawing Set Issue

NO.	ISSUE	DATE
01	Permit Set	-

### Sheet Revisions

NO.	ISSUE	DATE

Prepared By

**Yellow Dog Studio**

2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316

Date

**March 2018**

Scale

**nts**

Title

Cover Sheet

Sheet

**A000**

COPYRIGHT © 2015 - YELLOW DOG STUDIO



Certification

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_

Name: **Kim M. Batcheller**

Date: — Reg.No.: **53229**

Drawing Set Issue

NO.	ISSUE	DATE
01	Permit Set	-

Sheet Revisions

NO.	ISSUE	DATE

Prepared By

**Yellow Dog Studio**

**2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316**

Date

**March 2018**

Scale

**3/32" = 1'-0"**

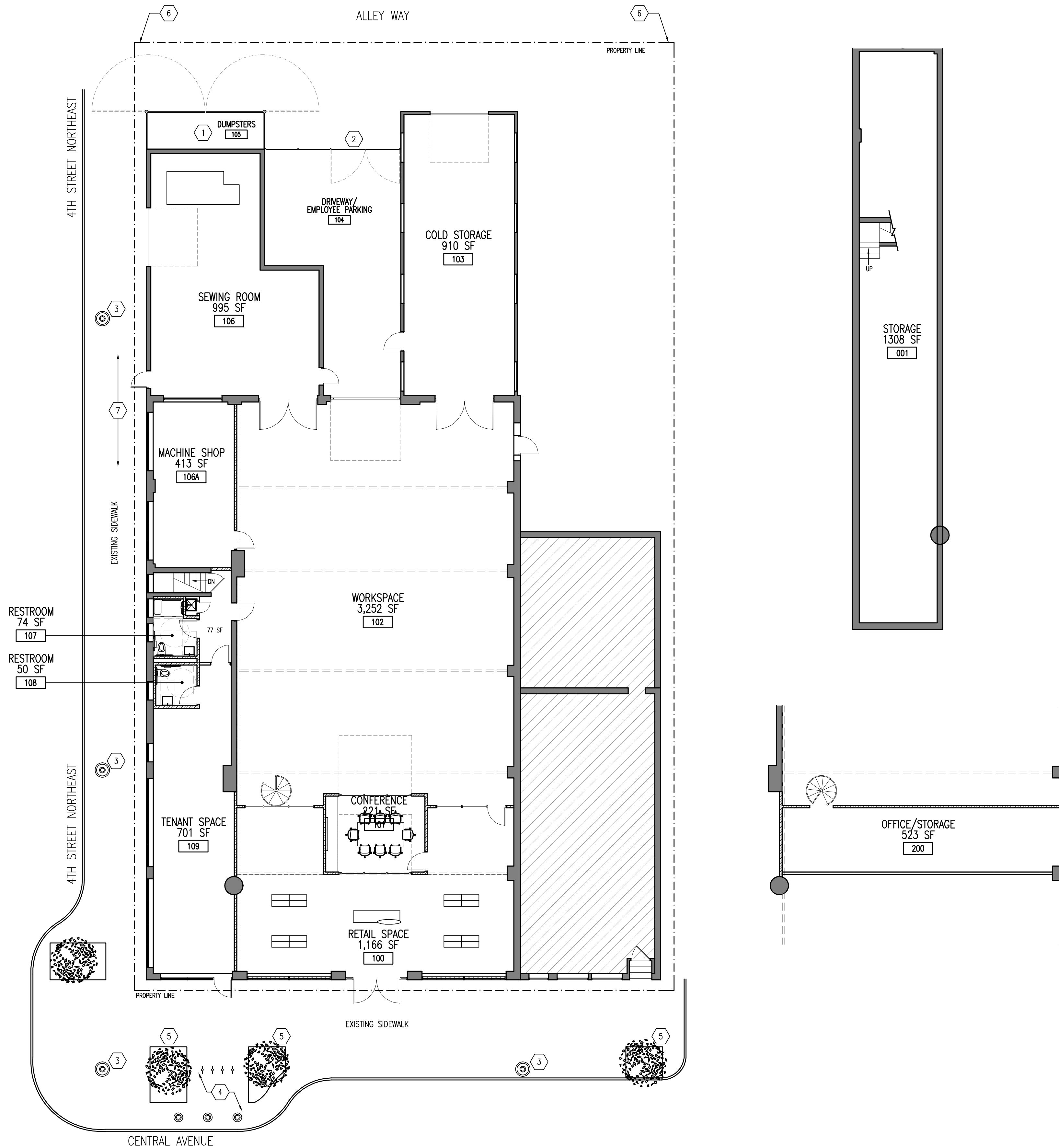
Title

**Site Plan**

Sheet

**A003**

COPYRIGHT © 2015 - YELLOW DOG STUDIO



**SITE PLAN GENERAL NOTES**

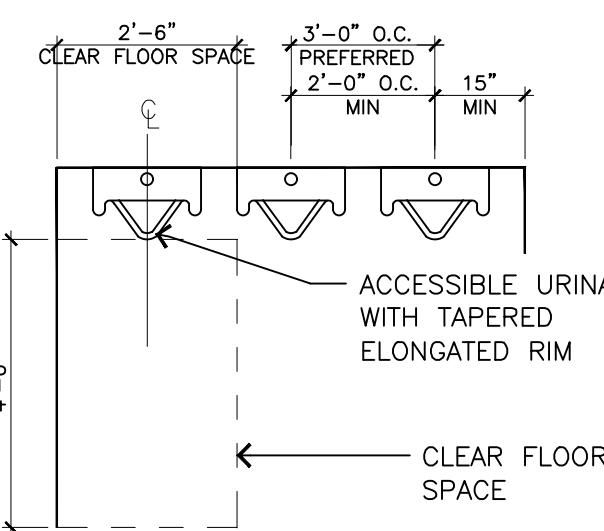
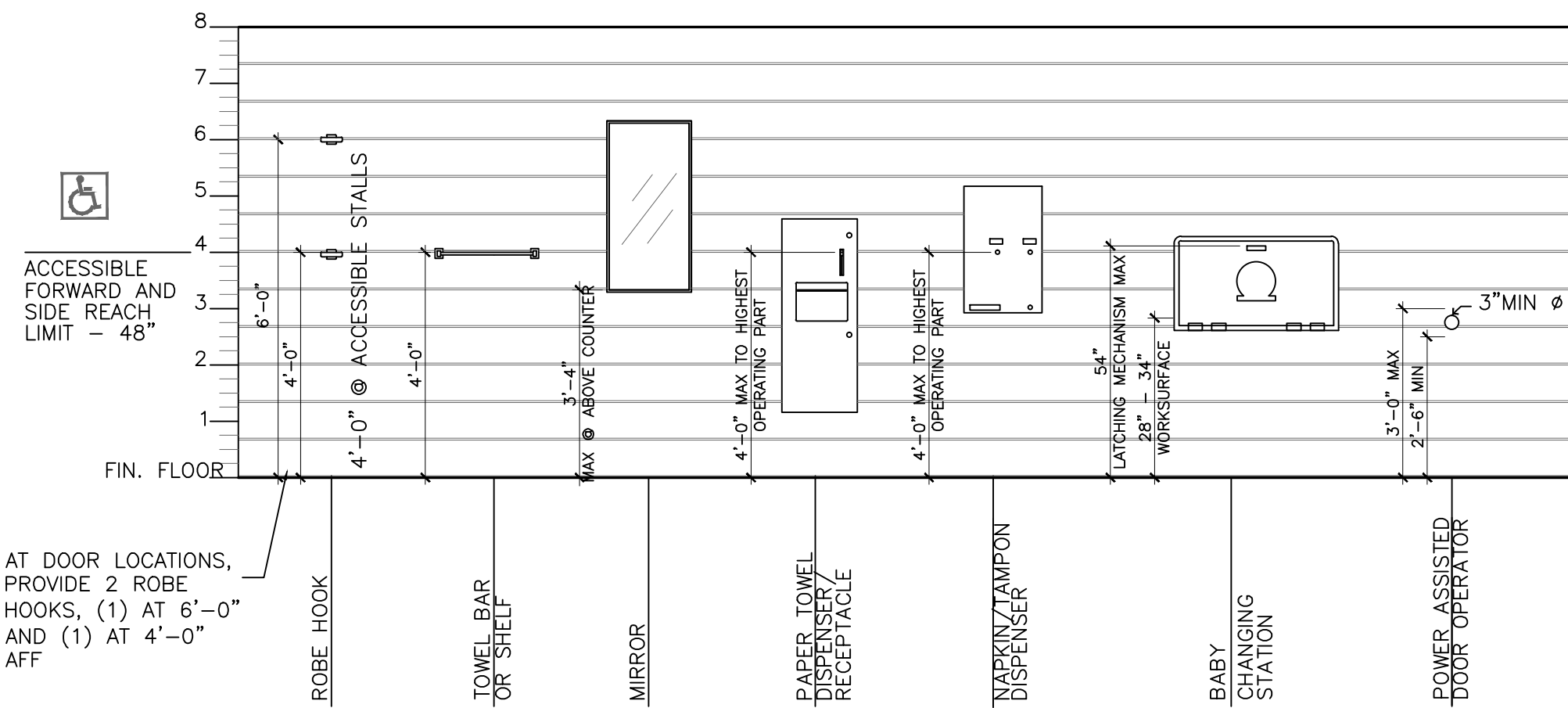
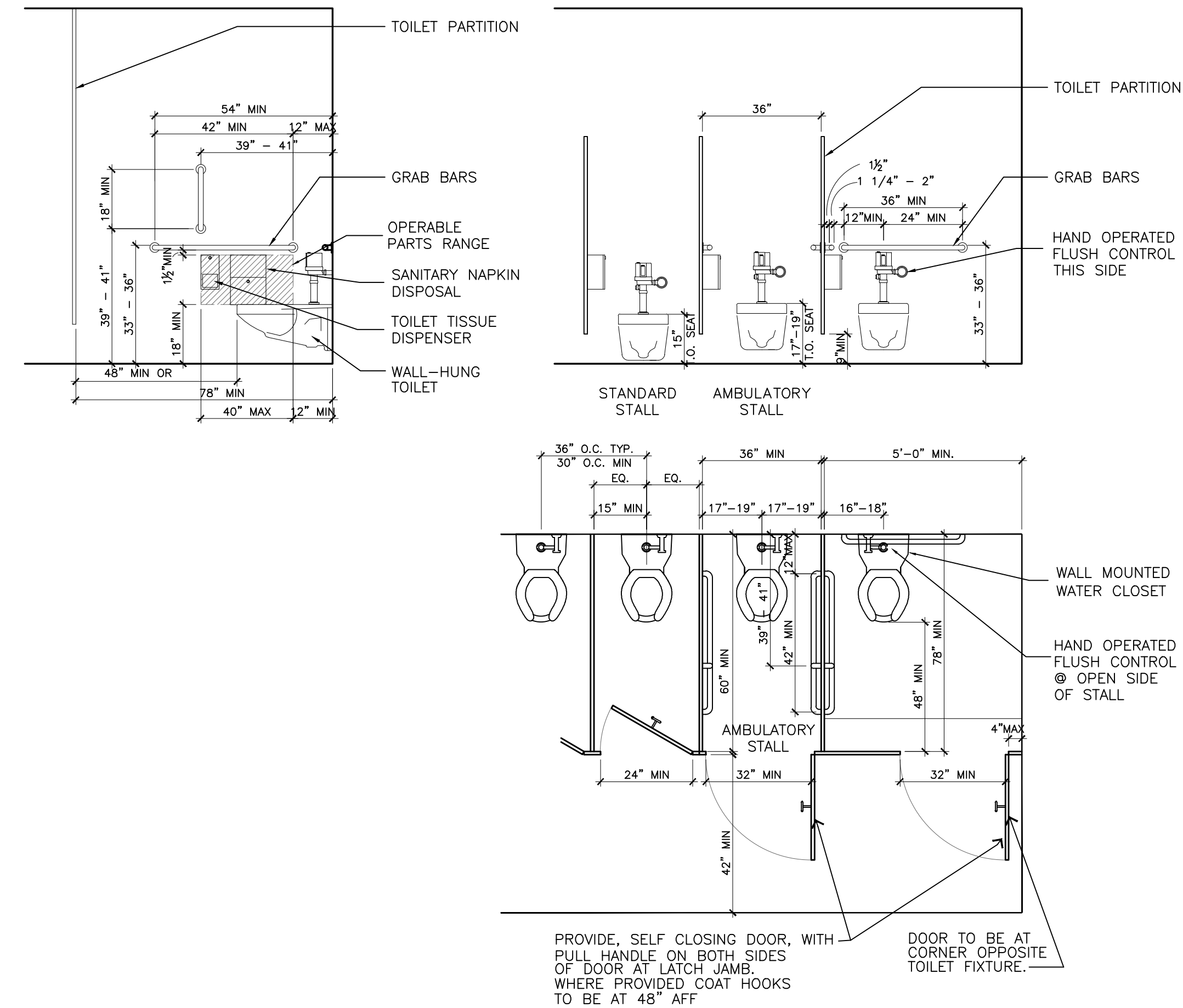
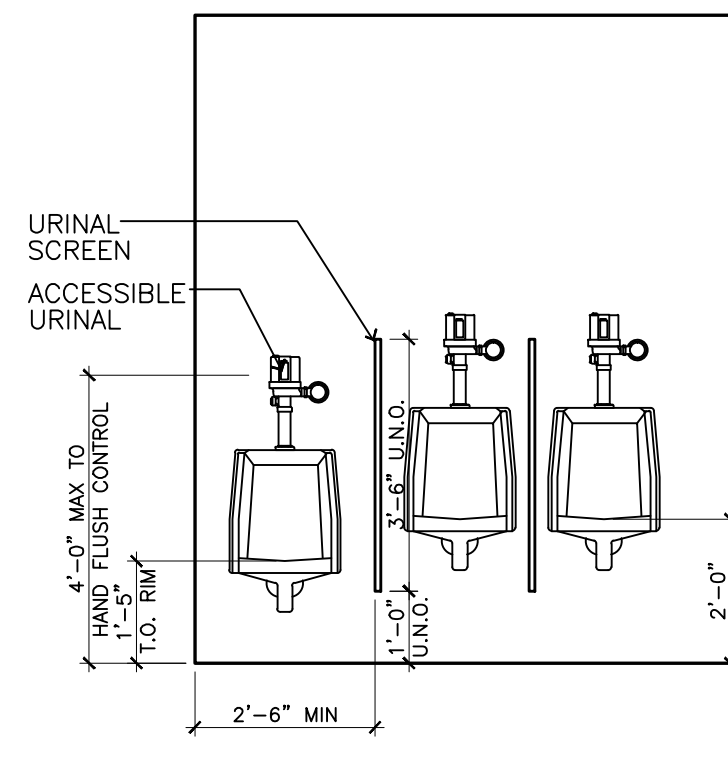
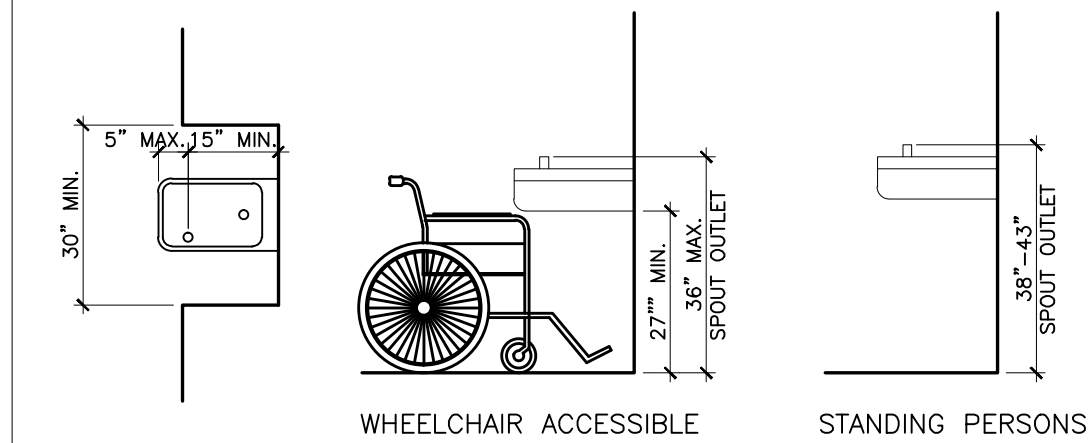
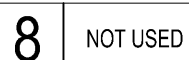
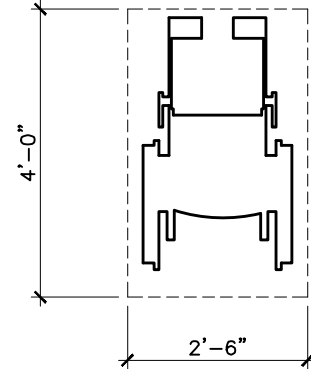
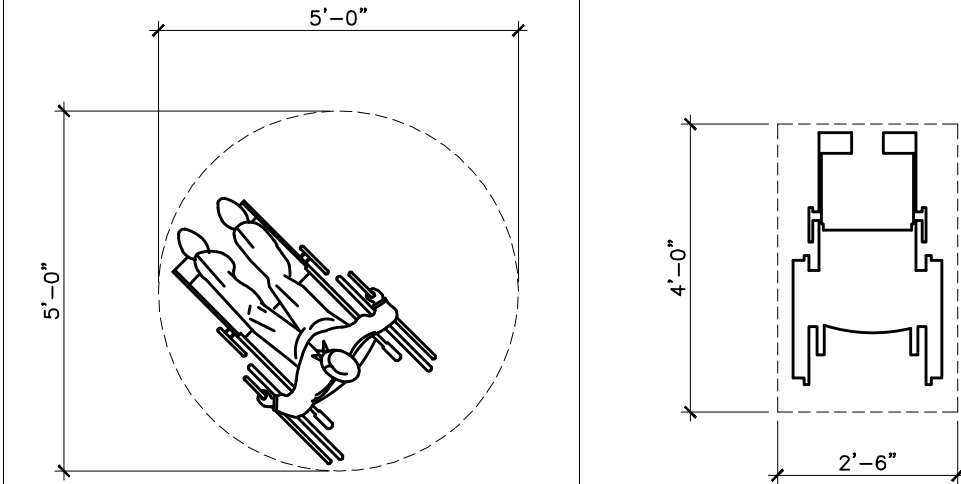
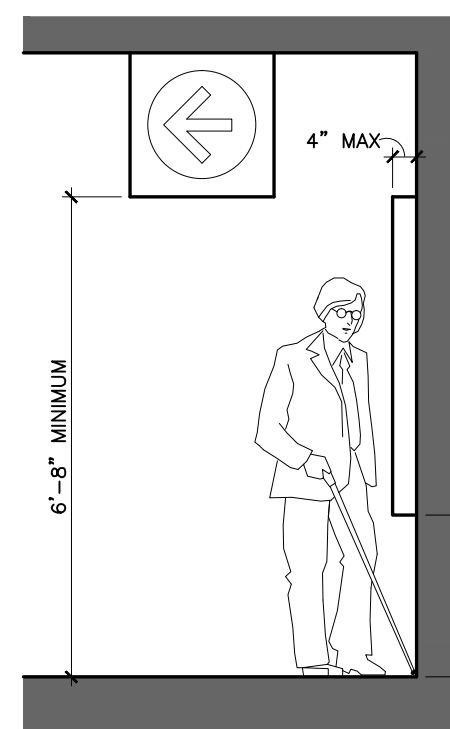
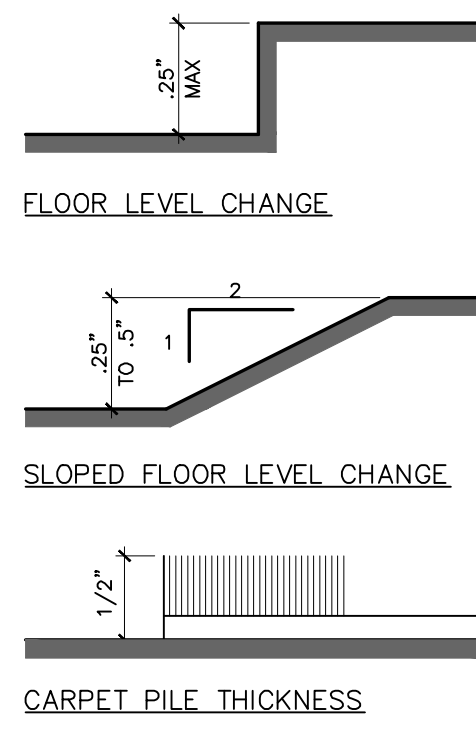
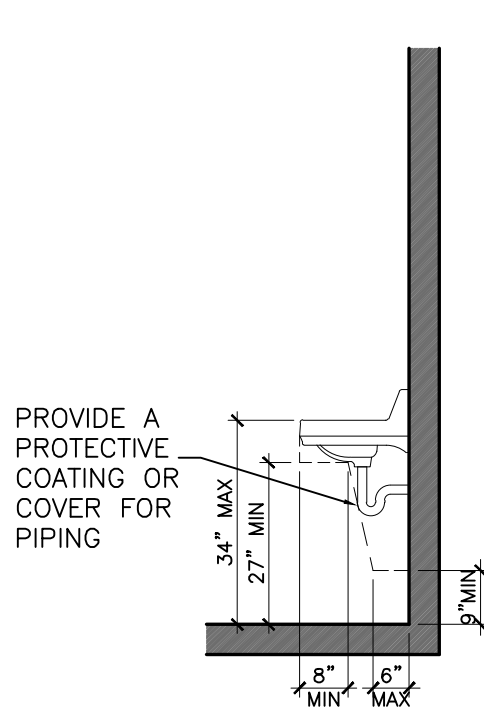
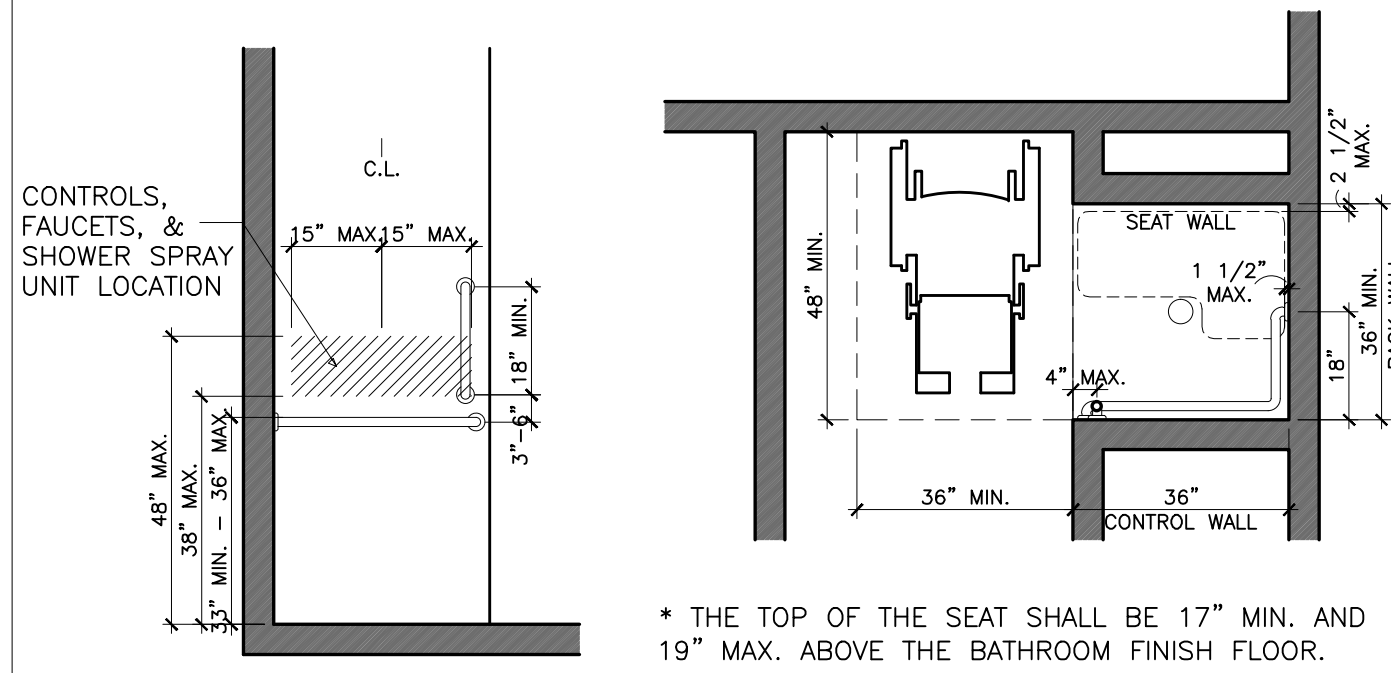
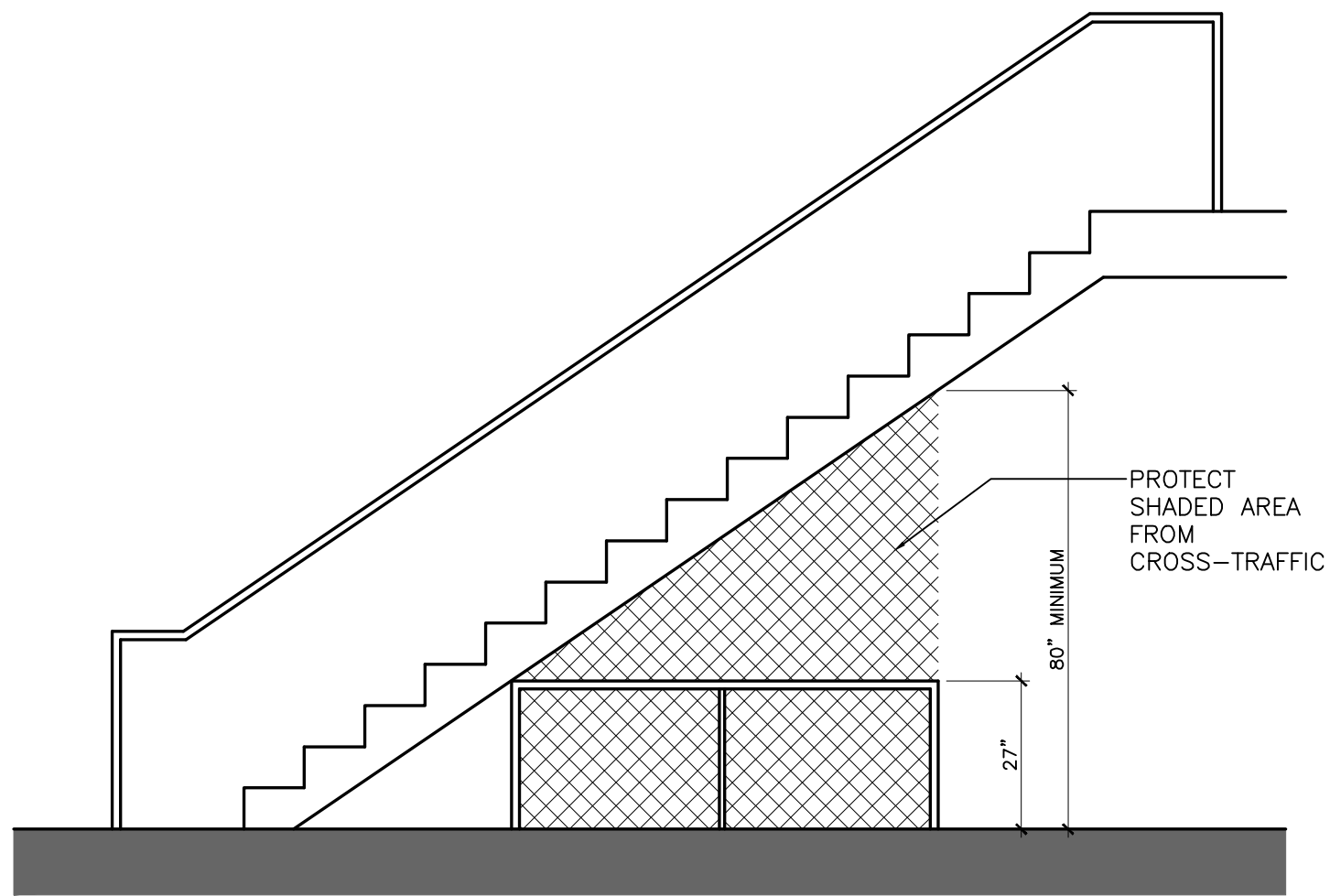
1. EXISTING SIDEWALK, LANDSCAPE AND EXTERIOR LIGHTING TO REMAIN

**SITE PLAN KEYED NOTES**

- 1 NEW FENCED IN AREA W/ SWING DOORS FOR GARBAGE DUMPSTERS.
- 2 NEW SECURITY FENCE W/ SWING DOORS FOR ACCESS.
- 3 EXISTING EXTERIOR STREET LIGHT TO REMAIN.
- 4 EXISTING BOLLARDS & BIKE RACKS TO REMAIN.
- 5 EXISTING TREE AND LANDSCAPING TO REMAIN.
- 6 EXACT LOCATION OF PROPERTY LINE/CORNERS TO BE MARKED BY LAND SURVEYOR PRIOR TO FENCE INSTALLATION TO MEET REQUIREMENT SET BACKS.
- 7 DRAINAGE IMPROVEMENTS ON NORTH SIDE OF BUILDING TO BE COORDINATED WITH OSSEO PUBLIC WORKS DEPARTMENT.

**1 SITE PLAN**  
3/32" = 1'-0"





GENERAL NOTES:

1. THE INFORMATION PRESENTED ON THIS SHEET IS A GUIDE TO MEETING THE REQUIREMENTS OF THE ADA, AS IT APPLIES TO THIS PROJECT. THIS INFORMATION IS INTENDED TO BE NO LESS RESTRICTIVE THAN THE REQUIREMENTS PRESENTED IN THE ADA ACCESSIBILITY GUIDELINE (ADAAG). IN SOME CASES WHERE THEY ARE MORE RESTRICTIVE, THE CRITERIA PRESENTED HERE SHALL BE FOLLOWED. SOME OF THE TOILET ACCESSORIES ILLUSTRATED HERE ARE BASED ON PRODUCTS MANUFACTURED BY A SPECIFIC COMPANY BUT THIS IN NO WAY IS MEANT TO RESTRICT THE USE OF PRODUCTS OF OTHER MANUFACTURERS AS MAY BE PERMITTED BY THE PROJECT SPECIFICATION. CONTRACTORS AND SUPPLIERS SHALL NOTIFY THE ARCHITECT IF THEY BELIEVE A PRODUCT SPECIFIED OR AN INSTALLATION DETAIL TO BE CONTRARY TO THE MINIMUM REQUIREMENTS OF THE ADAAG.
2. THE SERVICE OR OPERATING POINT FOR ALL INSTALLED TOILET ROOM EQUIPMENT OR ACCESSORIES SHALL BE MOUNTED NOT MORE THAN 48" AFF.
3. NO CONSTRUCTION OR EQUIPMENT SHALL BE INSTALLED WHICH DIMINISHES AN ACCESSIBLE ROUTE TO LESS THAN 36" WIDE BY 80" HIGH.
4. NO OBJECT SHALL BE INSTALLED WHICH PROTRUDES MORE THAN 4" FROM THE WALL IF THE BOTTOM OF THE LEADING EDGE IS BETWEEN 27" AND 80" ABOVE THE FINISHED FLOOR.
5. UNLESS SPECIFICALLY DETAILED OR SPECIFIED OTHERWISE, ALL DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32" AND HAVE A CLEAR SPACE FROM THE LATCH JAMB TO ANY OBSTRUCTION OF NOT LESS THAN 12" ON THE "PUSH" SIDE AND 18" ON THE "PULL" SIDE.
6. ALL CASHIER STANDS, TICKET WINDOWS, RECEPTION DESKS AND OTHER FACILITIES PROVIDING SERVICE AT A COUNTER SHALL HAVE AN ACCESSIBLE PORTION OF THE COUNTER THAT IS AT LEAST 36" LONG FOR A PARALLEL APPROACH, 30" LONG FOR A FORWARD APPROACH, AND NOT MORE THAN 36" AFF.

7. ALL GRAB BARS SHALL HAVE A 1-1/2" CLEAR FINGER SPACE BETWEEN THE WALL AND THE GRAB BAR, 1 1/2" BELOW THE GRAB BAR, AND 12" MINIMUM CLEARANCE ABOVE THE GRAB BAR EXCEPT AT SHOWER CONTROLS. THE WIDTH OF GRAB BARS ARE TO BE 1 1/4" - 2".
8. ALL CARPETS SHALL BE SECURELY FASTENED TO THE FLOOR AND HAVE A PILE THICKNESS NOT MORE THAN 1/2".
9. ALL GRATINGS LOCATED IN WALKING SURFACES SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN ONE DIRECTION AND WHERE ELONGATED OPENINGS ARE PROVIDED THEY SHALL BE PLACED SO THAT THE LONG DIRECTION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
10. NO RAMP SHALL BE CONSTRUCTED WITH A SLOPE GREATER THAN 1:12 IN THE DIRECTION OF TRAVEL AND A CROSS SLOPE GREATER THAN 1:48.
11. FLOORS IN TOILET, SHOWER, AND BATHING ROOMS ACCESSIBLE TO THE PUBLIC SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS CERAMIC TILE AND SHALL EXTEND UP THE WALLS AT LEAST 5". WALLS WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE TO 4' A.F.F. SHOWER COMPARTMENT AND BATHTUB WALLS WITH SHOWER HEADS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE UP TO 70" ABOVE THE DRAIN.
12. IDENTIFICATION SIGNAGE SHALL BE PROVIDED AT TOILET ROOMS, DOORS LEADING TO EGRESS STAIRWAYS, AND AREAS OF REFUGE. THE SIGNAGE SHALL INCLUDE TACTILE LETTERS INDICATING THE NAME OF THE SPACE, THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, AND BRAILLE CHARACTERS. ALL ASPECTS OF THE SIGN SHALL COMPLY WITH THE MINNESOTA STATE ACCESSIBILITY CODE, CHAPTER 703.



Project Name

## Union Speed & Style

340 Central Avenue  
Osseo, MN 55369

## Certification

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_

Name: Kim M. Batcheller

Date: \_\_\_\_\_ Reg.No.: 53229

Drawing Set Issue

[illegible]

### Sheet Revisions

[illegible]

Prepared By

# Yellow Dog Studio

2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316

Date \_\_\_\_\_

March 2018

Scale

NTS

Title

## Accessibility Details

Sheet

A004

COPYRIGHT © 2015 - YELLOW DOG STUDIO



Certification

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_

Name: **Kim M. Batcheller**

Date: \_\_\_\_\_ Reg.No.: **53229**

Drawing Set Issue

NO.	ISSUE	DATE
01	Permit Set	-

Sheet Revisions

NO.	ISSUE	DATE

Prepared By

**Yellow Dog Studio**

**2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316**

Date

**March 2018**

Scale

**1/8" = 1'-0"**

Title




**Demolition  
Floor Plan  
Levels 01 & Mezzanine**

Sheet

**D100**

COPYRIGHT © 2015 - YELLOW DOG STUDIO









DEMOLITION LEGEND

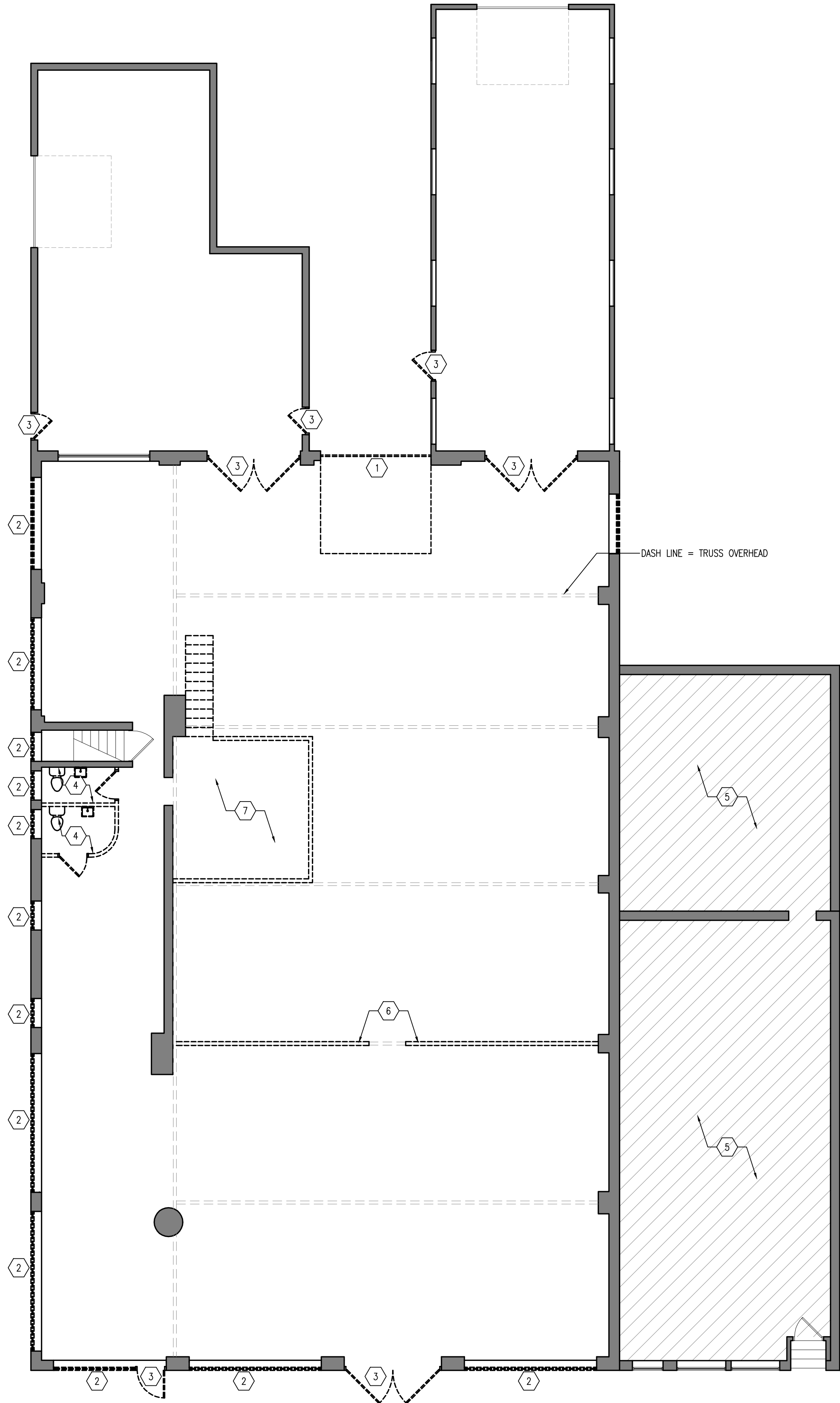
-  EXISTING PARTITION TO REMAIN.
-  EXISTING PARTITION TO BE REMOVED.
-  EXISTING ITEM TO BE REMOVED.

DEMOLITION SCOPE NOTES

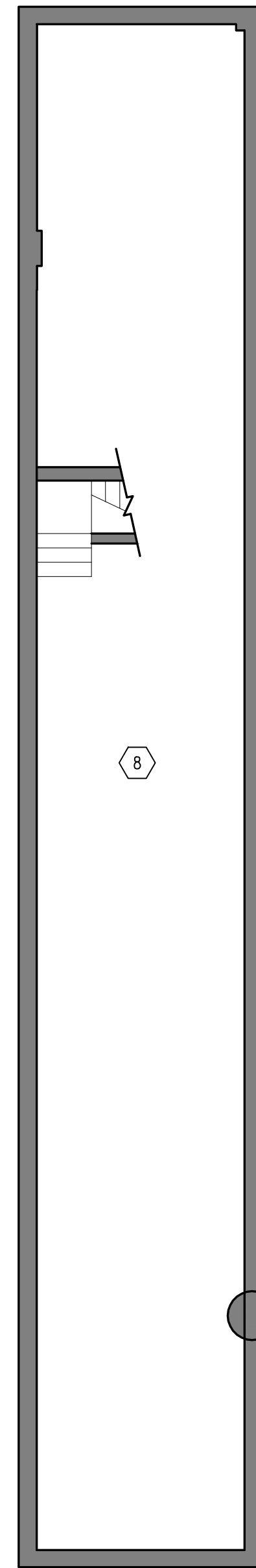
- THE DOCUMENTS SHOW THE OVERALL EXTENT OF DEMOLITION REQUIRED. ALTHOUGH EACH COMPONENT MAY NOT BE SHOWN OR REFERENCED, DEMOLISH ITEMS CONSISTENT WITH THE NATURE OF DEMOLITION INDICATED.
- REMOVE LOOSE OR CRACKED MATERIAL AT ADJACENT AREAS DAMAGED BY DEMOLITION OPERATIONS, WHICH ARE TO REMAIN. PATCH AREAS WITH MATCHING MATERIAL AND WORKMANSHIP.
- REMOVE EXISTING ELECTRICAL OUTLETS UNLESS OTHERWISE NOTED.
- NOTIFY ARCHITECT IF EXISTING PENETRATIONS IN RATED CONSTRUCTION ARE DISCOVERED DURING DEMOLITION OPERATIONS.
- RESTORE THE FIRE PROTECTION RATING OF FIRE-PROTECTED CONSTRUCTION INDICATED TO REMAIN, WHICH IS DAMAGED BY DEMOLITION OPERATIONS. FIRE-PROTECTED CONSTRUCTION INCLUDES STRUCTURAL MEMBERS, WALL, FLOOR, CEILING AND ROOF ASSEMBLIES COVERED WITH SPRAY FIREPROOFING OR DESIGNATED AS A RATED COMPONENT OR ASSEMBLY WITHIN THE DOCUMENTS.
- REMOVE EXISTING FLOOR AND WALL FINISHES. PREPARE FOR NEW FINISH.
- REMOVE EXISTING MILLWORK, APPLIANCES, SINKS AND FAUCETS.
- REMOVE EXISTING LOW VOLTAGE CABLES.

DEMOLITION KEYED NOTES

-  REMOVE EXISTING GARAGE DOOR & FRAME - PREPARE FOR NEW INSTALLATION.
-  REMOVE EXISTING EXTERIOR WINDOWS - PREPARE FOR NEW INSTALLATION.
-  REMOVE EXISTING DOOR & FRAME - PREPARE FOR NEW INSTALLATION.
-  REMOVE EXISTING PARTITIONS, DOORS & FRAMES, PLUMBING FIXTURES, FLOOR & WALL FINISHES. PREPARE FOR NEW DESIGN - SEE CONSTRUCTION PLAN FOR CLARIFICATION.
-  BUILDING IS FOR FUTURE TENANT - NO WORK TO BE DONE AT THIS TIME.
-  REMOVE EXISTING PARTITION - PREPARE FOR NEW DESIGN.
-  REMOVE EXISTING MEZZANINE STRUCTURE & STAIRS - PREPARE FOR NEW DESIGN.
-  NO WORK REQ'D.

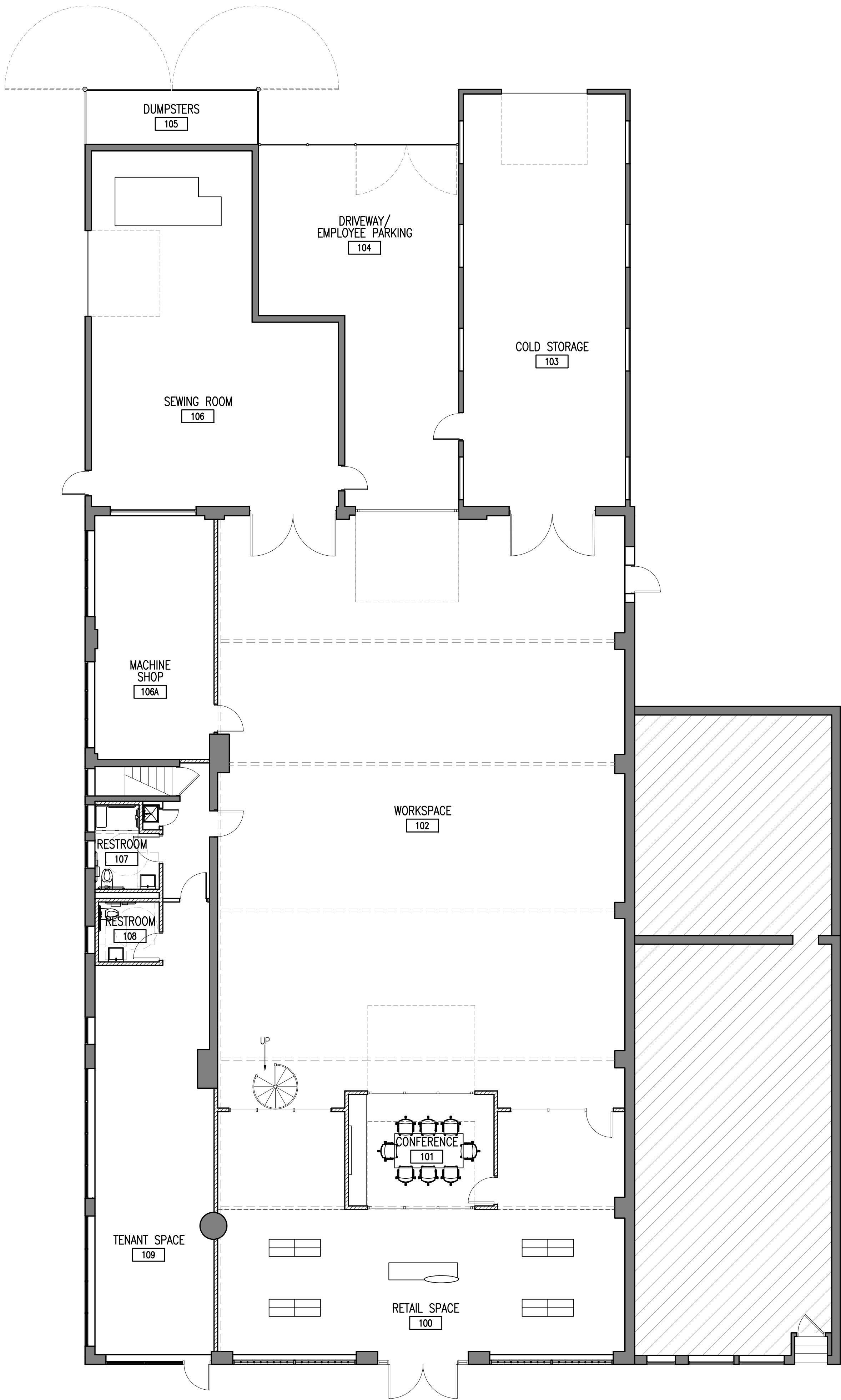


**1** DEMOLITION FLOOR PLAN - LOWER LEVEL  
1/8" = 1'-0"

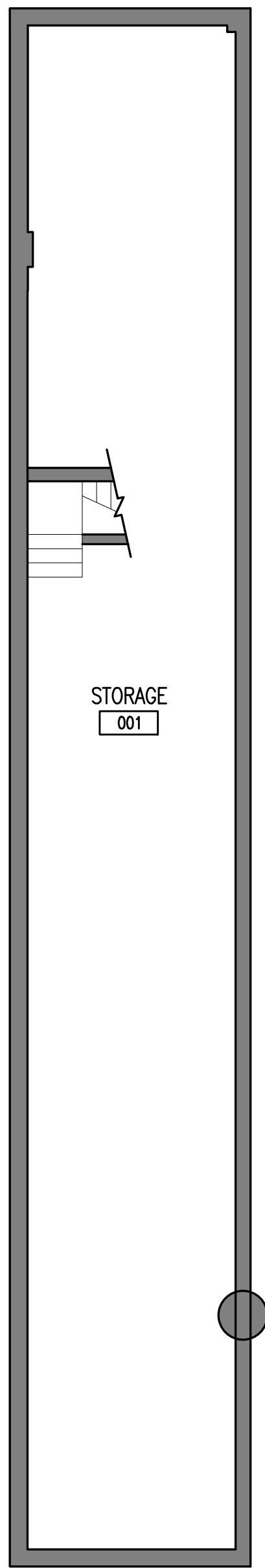


**2** DEMOLITION FLOOR PLAN - LEVEL 01  
1/8" = 1'-0"

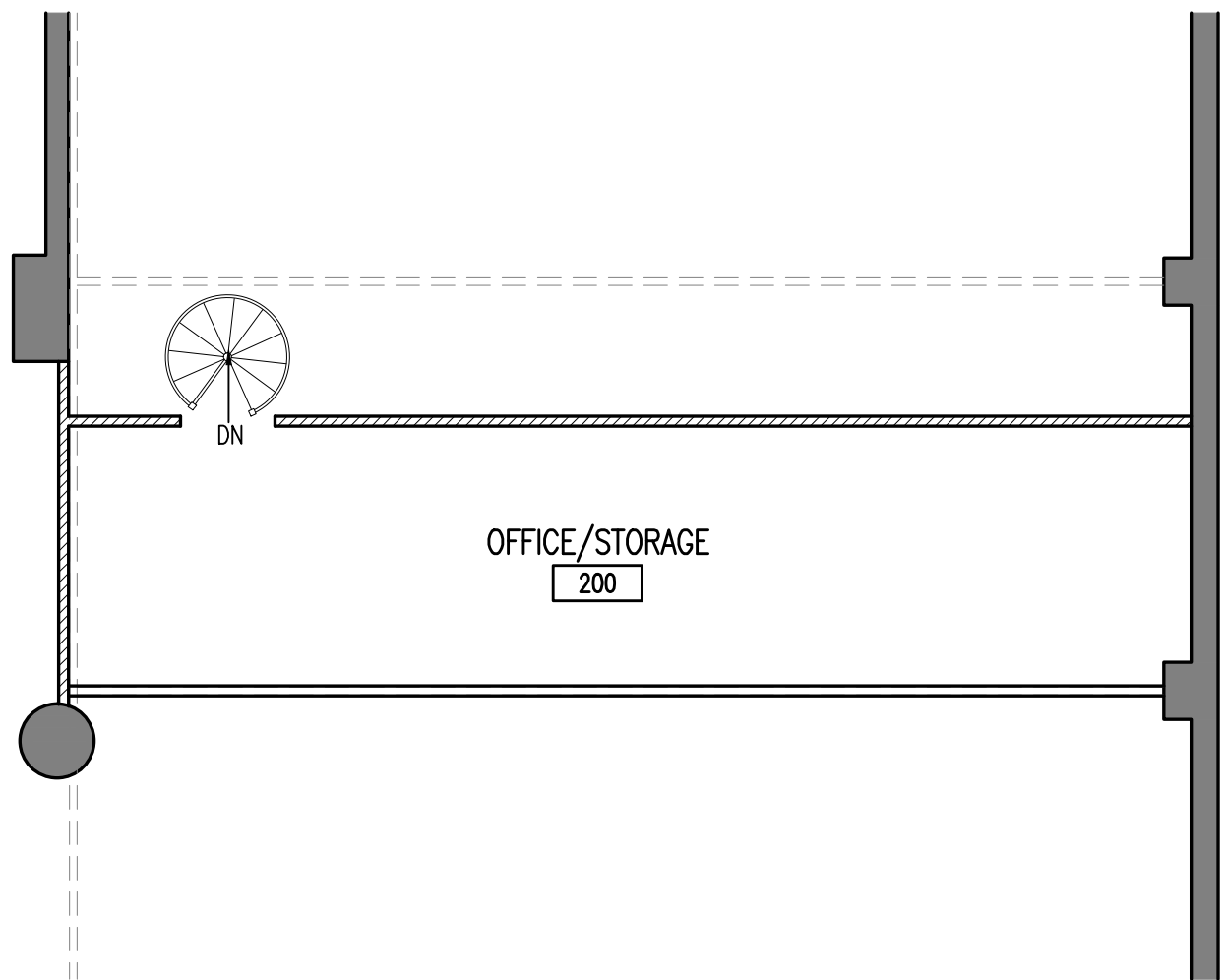




3 FURNITURE FLOOR PLAN – LEVEL 01  
1/8" = 1'-0"



1 FURNITURE FLOOR PLAN – LOWER LEVEL  
1/8" = 1'-0"



2 FURNITURE FLOOR PLAN – MEZZANINE LEVEL  
1/8" = 1'-0"

FURNITURE FOR REFERENCE ONLY. VERIFY  
SIZES AND LOCATIONS WITH OWNER.



Project Name

Union Speed & Style

340 Central Avenue  
Osseo, MN 55369

Certification

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_

Name: **Kim M. Batcheller**

Date: \_\_\_\_\_ Reg.No.: **53229**

Drawing Set Issue

NO.	ISSUE	DATE
01	Permit Set	-

Sheet Revisions

NO.	ISSUE	DATE

Prepared By

Yellow Dog Studio

2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316

Date

March 2018

Scale

1/8" = 1'-0"

Title

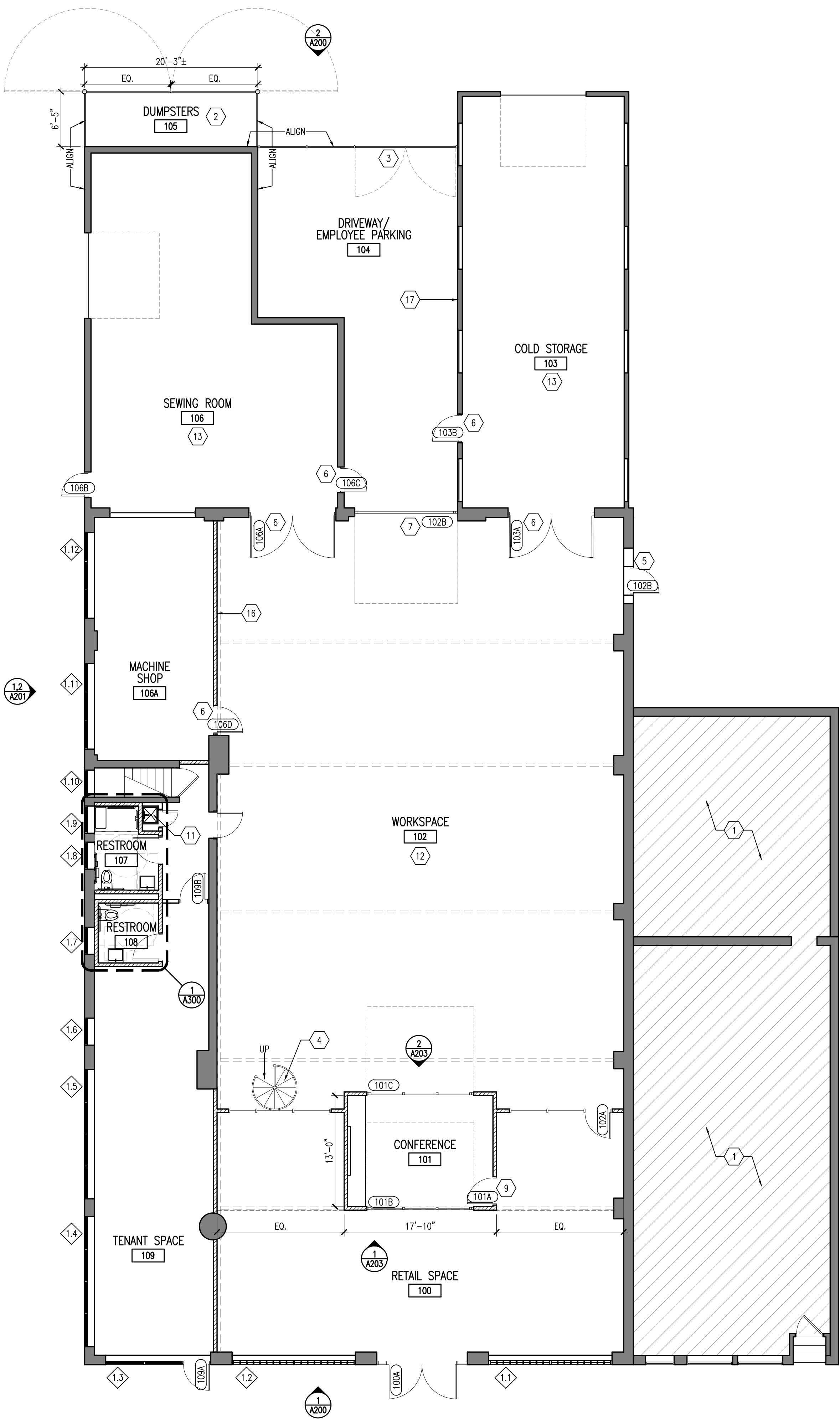
Furniture  
Floor Plan  
Levels 01 & Mezzanine

Sheet

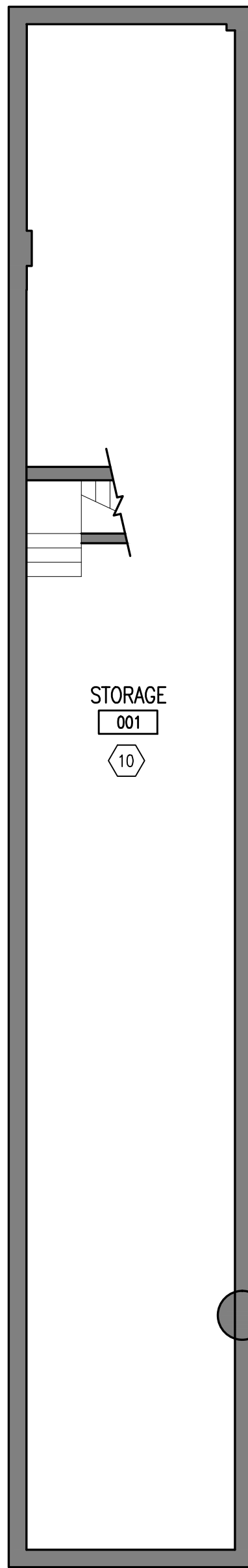
A100

COPYRIGHT © 2015 - YELLOW DOG STUDIO

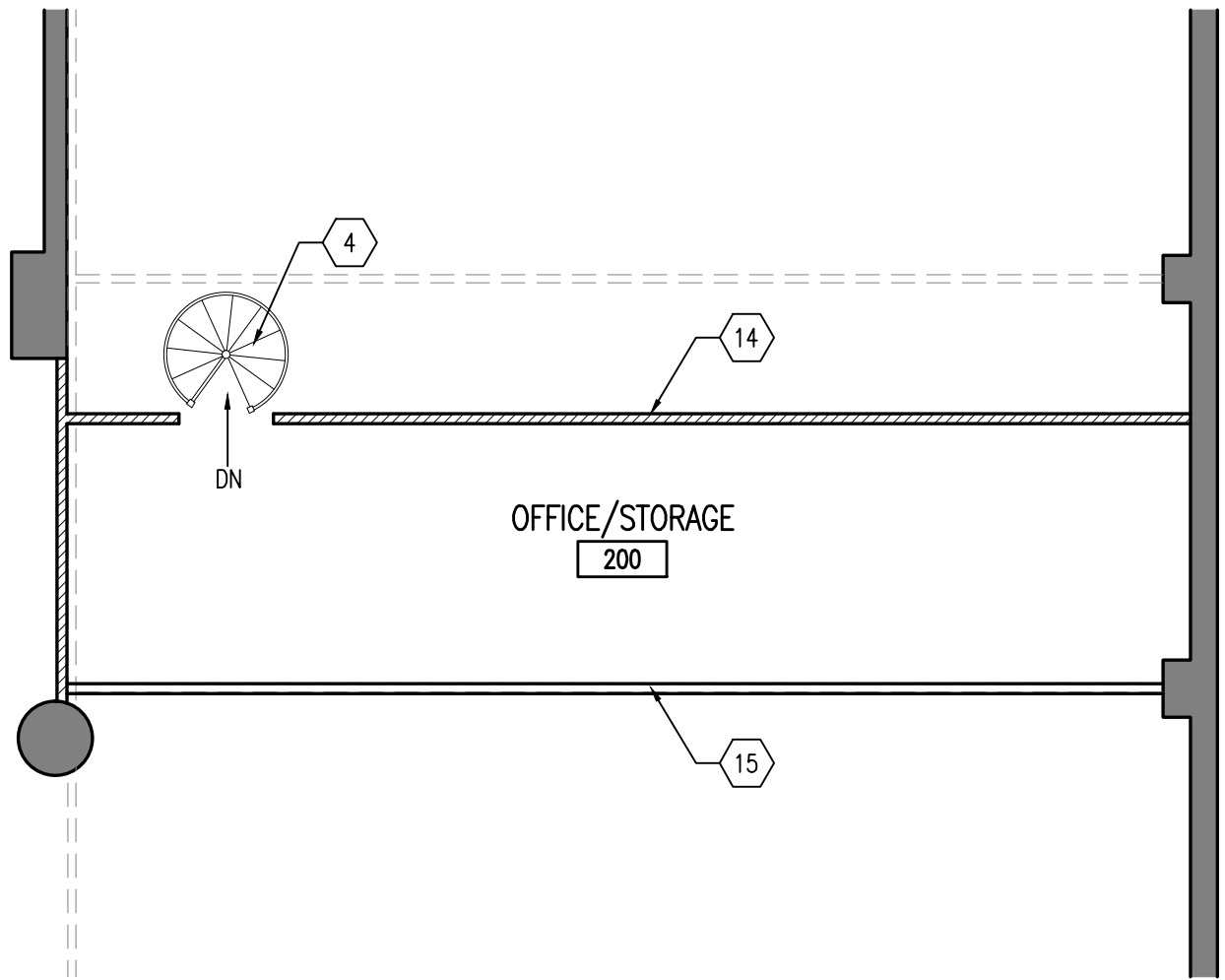




3 CONSTRUCTION FLOOR PLAN – LEVEL 01  
1/8" = 1'-0"



1 CONSTRUCTION FLOOR PLAN – LOWER LEVEL  
1/8" = 1'-0"

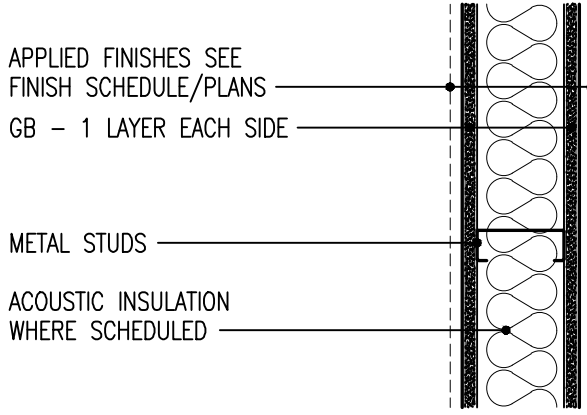


2 CONSTRUCTION FLOOR PLAN – MEZZANINE LEVEL  
1/8" = 1'-0"

### CONSTRUCTION LEGEND

- EXISTING PARTITION TO REMAIN
- NEW TYPE A30 1-HOUR RATED FULL HEIGHT PARTITION TO DECK (NO INSULATION)
- NEW TYPE A31 NON-RATED FULL HEIGHT PARTITION TO DECK WITH ACOUSTICAL BATT INSULATION
- NEW TYPE A32 NON-RATED FULL HEIGHT PARTITION TO DECK (NO INSULATION)
- NEW NON-OPERABLE METAL CLAD EXTERIOR WINDOWS – SEE ELEVATIONS FOR CLARIFICATION EXTERIOR LOCATIONS TO MATCH EXISTING OPENING SIZES
- NEW DOOR – SEE ELEVATIONS FOR CLARIFICATION EXTERIOR LOCATIONS TO MATCH EXISTING OPENING SIZES

### INTERIOR PARTITION TYPES



PARTITION SYSTEM PLAN IDENTIFICATION SYMBOL	A3. H
1-HOUR RATED WITH GB TO STRUCTURE ABOVE	A30
NON RATED WITH GB TO STRUCTURE ABOVE W/ ACOUSTICAL BATT INSULATION	A31
NON RATED WITH GB TO FINISHED CEILING – NO INSULATION	A32
STUD SIZE	3 5/8"
GB THICKNESS	5/8"
BASIC PARTITION THICKNESS	4 7/8"
STUD GAUGE	22
STUD SPACING	24"
ACOUSTICAL RATING (STC) W/ INSULATION	49
ACOUSTICAL TEST NUMBER	SIM. SA 870717
FIRE TEST NUMBER (WHERE APPLICABLE)	UL DES U465
REMARKS PROVIDE ACOUSTICAL SEALANT AT HEAD AND PLATE CONDITIONS	

### CONSTRUCTION SCOPE NOTES

- SEE CONSTRUCTION LEGEND FOR WALL PARTITION TYPES. REFER TO A010 FOR WALL PARTITION SPECIFICATIONS AND DETAILS.
- FIRE MARSHAL TO REVIEW AND APPROVE ALL FIRE EXTINGUISHER CABINET LOCATIONS.
- ALL OFFICE SIGNAGE BY OTHERS.
- ALL NEW PARTITIONS TO BE A31 WITH BATT INSULATION UNLESS OTHERWISE NOTED.
- GC TO PROVIDE SIGNAGE FOR RESTROOM, STAIR AND BUILDING CORE ROOMS.
- PROVIDE THREE (3) TYPE 2-A FIRE EXTINGUISHERS.
- EXTERIOR WALLS TO BE SPRAY FOAMED FOR SOUND DAMPENING AND HEATING & COOLING RETENTION.
- RADIANT IN-FLOOR HEAT TO BE INSTALLED. ENGINEERED DRAWINGS TO BE PROVIDED AT LATER DATE.

### CONSTRUCTION KEYED NOTES

- BUILDING IS FOR FUTURE TENANT – NO WORK TO BE DONE AT THIS TIME.
- NEW FENCED IN AREA W/ SWING DOORS FOR GARBAGE DUMPSTERS.
- NEW SECURITY FENCE W/ SWING DOORS FOR ACCESS.
- NEW SPIRAL STAIRCASE PURCHASED BY OWNER.
- WALL IN-FILL – MATCH EXISTING CONSTRUCTION. NEW BRICK AT EXTERIOR – MATCH EXISTING.
- NEW SWING DOORS – MATCH EXISTING OPENING SIZES. PROVIDE INSULATED DOORS @ EXTERIOR AND SOLID CORE DOORS @ INTERIOR
- NEW GARAGE DOOR – MATCH EXISTING OPENING SIZES. PROVIDE INSULATED DOORS @ EXTERIOR AND FULL GLASS DOORS @ INTERIOR (SEE ELEVATIONS FOR CLARIFICATION)
- NEW WINDOWS – MATCH EXISTING OPENING SIZES.
- NEW 3'-0" WIDE SWING DOOR.
- NO WORK REQ'D.
- PROVIDE JANITOR SINK.
- PROVIDE HAND SINK @ WORKSPACE – LOCATION TBD.
- EXISTING WINDOWS @ GARAGE DOOR TO REMAIN, SWING DOORS TO BE NEW. (COLD STORAGE 103 & SEWING ROOM 106)
- FULL HEIGHT PARTITION @ MEZZANINE (WORKSPACE SIDE)
- PARTIAL HEIGHT PARTITION @ MEZZANINE (RETAIL SPACE SIDE)
- FULL HEIGHT WALL PARTITION W/ TRANSOM GLASS STARTING @ 9'-0" A.F.F. TRANSOM GLASS TO BE 3' HIGH.
- PROVIDE NEW METAL SIDING ON DRIVEWAY SIDE ONLY OF COLD STORAGE BUILDING. NEW PAINTED WOOD SLATS TO BE PROVIDED ON OTHER 2 SIDES – SEE ELEVATIONS FOR CLARIFICATION.



Project Name

Union Speed & Style

340 Central Avenue  
Osseo, MN 55369

### Certification

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_  
Name: **Kim M. Batcheller**  
Date: \_\_\_\_\_ Reg.No.: **53229**

### Drawing Set Issue

NO.	ISSUE	DATE
01	Permit Set	-

### Sheet Revisions

NO.	ISSUE	DATE

Prepared By

Yellow Dog Studio

2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316

Date

March 2018

Scale

1/8" = 1'-0"

Title

Construction  
Floor Plan  
Levels 01 & Mezzanine

Sheet

A110

COPYRIGHT © 2015 - YELLOW DOG STUDIO







Certification  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_

Name: **Kim M. Batcheller**

Date: \_\_\_\_\_ Reg.No.: **53229**

Drawing Set Issue

NO.	ISSUE	DATE
01	Permit Set	-

Sheet Revisions

NO.	ISSUE	DATE

Prepared By

**Yellow Dog Studio**

**2744 Lyndale Ave S**  
**Minneapolis, MN 55408**  
**612.251.1316**

Date

**March 2018**

Scale

**1/4" = 1'-0"**

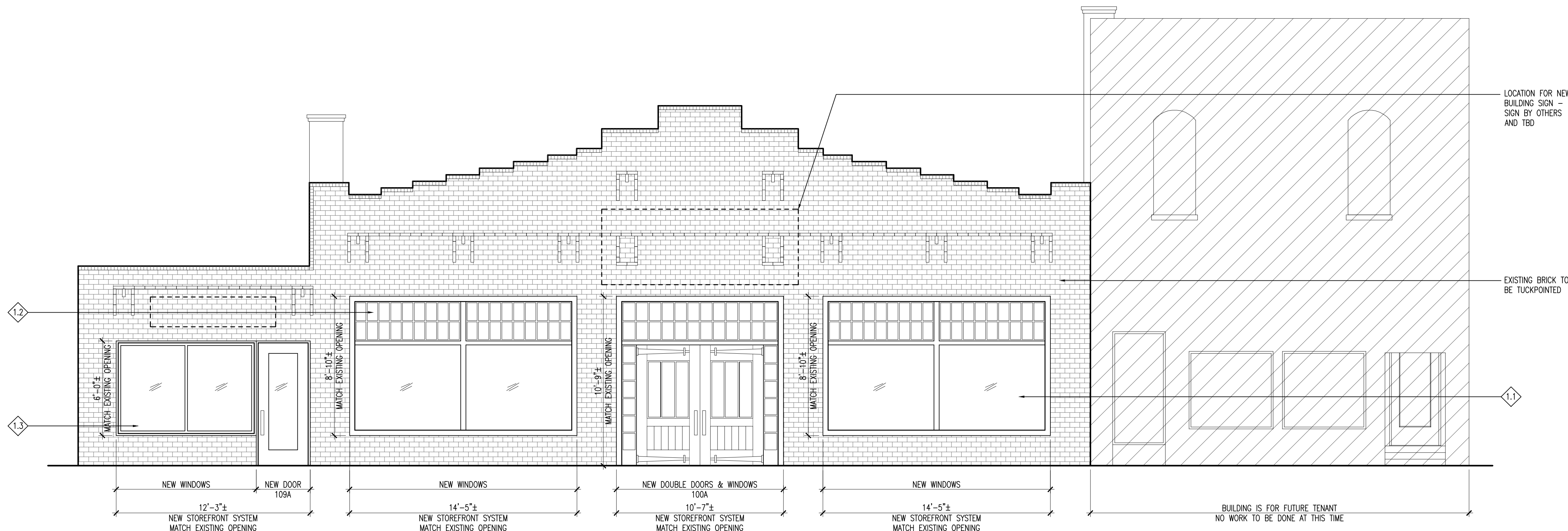
Title

**Exterior**  
**Elevations**  
**Level 01**

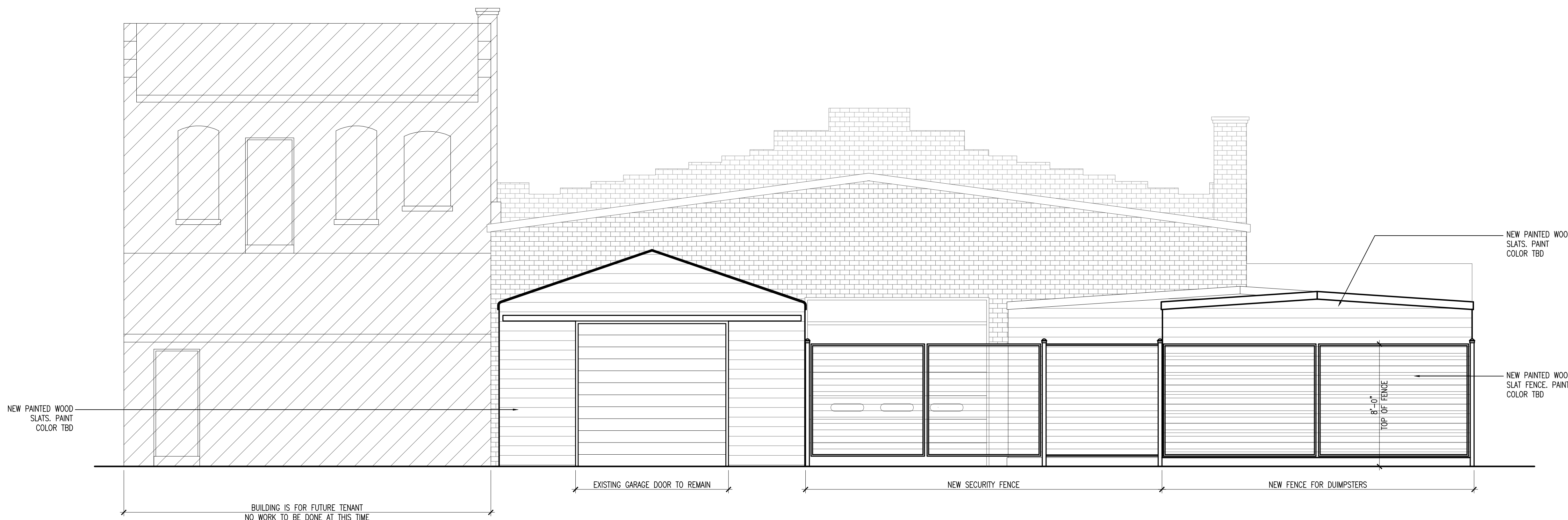
Sheet

**A200**

COPYRIGHT © 2015 - YELLOW DOG STUDIO



**1** ELEVATION @ BUILDING FRONT – CENTRAL AVENUE / WEST ELEVATION  
1/4" = 1'-0"



**2** ELEVATION @ BUILDING BACK – EAST ELEVATION  
1/4" = 1'-0"



Certification  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_  
Name: **Kim M. Batcheller**  
Date: \_\_\_\_ Reg.No.: **53229**

Drawing Set Issue

NO.	ISSUE	DATE
01	Permit Set	-

Sheet Revisions

NO.	ISSUE	DATE

Prepared By

**Yellow Dog Studio**

**2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316**

Date

**March 2018**

Scale

**1/4" = 1'-0"**

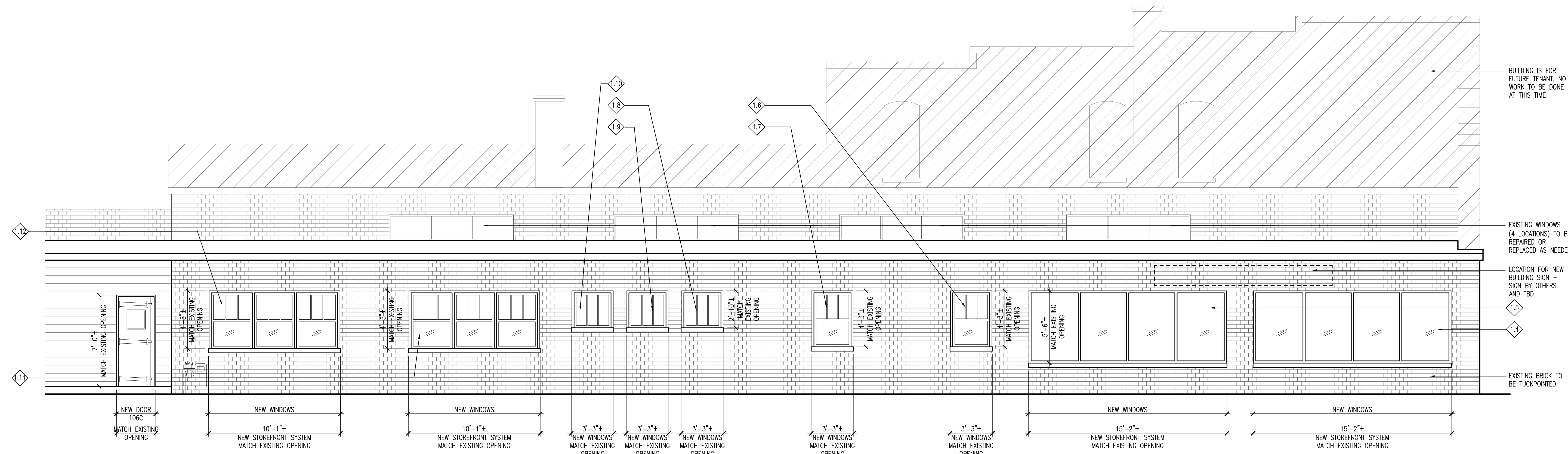
Title

**Exterior  
Elevations  
Level 01**

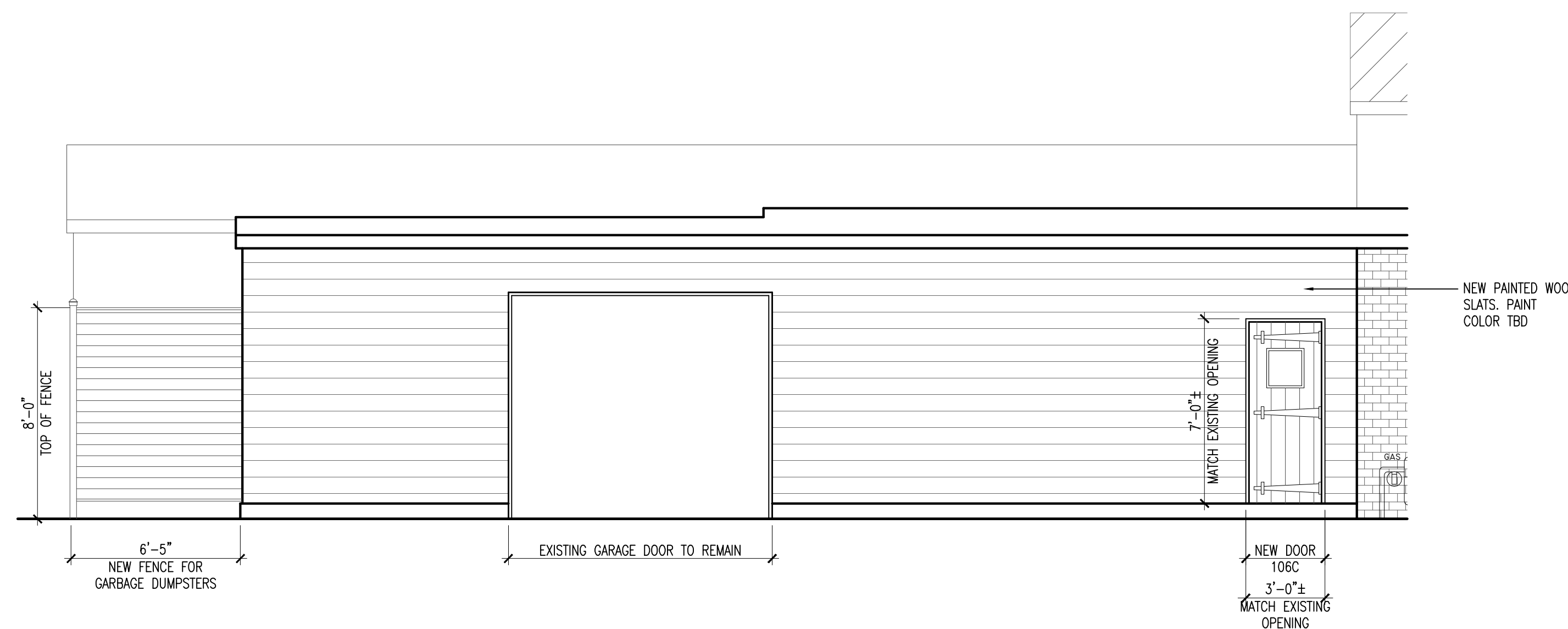
Sheet

**A201**

COPYRIGHT © 2015 - YELLOW DOG STUDIO



**1** ELEVATION @ BUILDING - 4TH STREET NORTHEAST / NORTH ELEVATION  
1/4" = 1'-0



**2** ELEVATION @ BUILDING SIDE CONTINUED - 4TH STREET NORTHEAST / NORTH ELEVATION  
1/4" = 1'-0





Project Name

## Union Speed & Style

340 Central Avenue  
Osseo, MN 55369

## Certification

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_

Name: Kim M. Batcheller

Date: \_\_\_\_\_ Reg.No.: 53229

## Drawing Set Issue

[illegible]

## Sheet Revisions

[illegible]

Prepared By

Yellow Dog Studio

2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316

Date \_\_\_\_\_

March 2018

Scale

$$1/4'' = 1'-0''$$

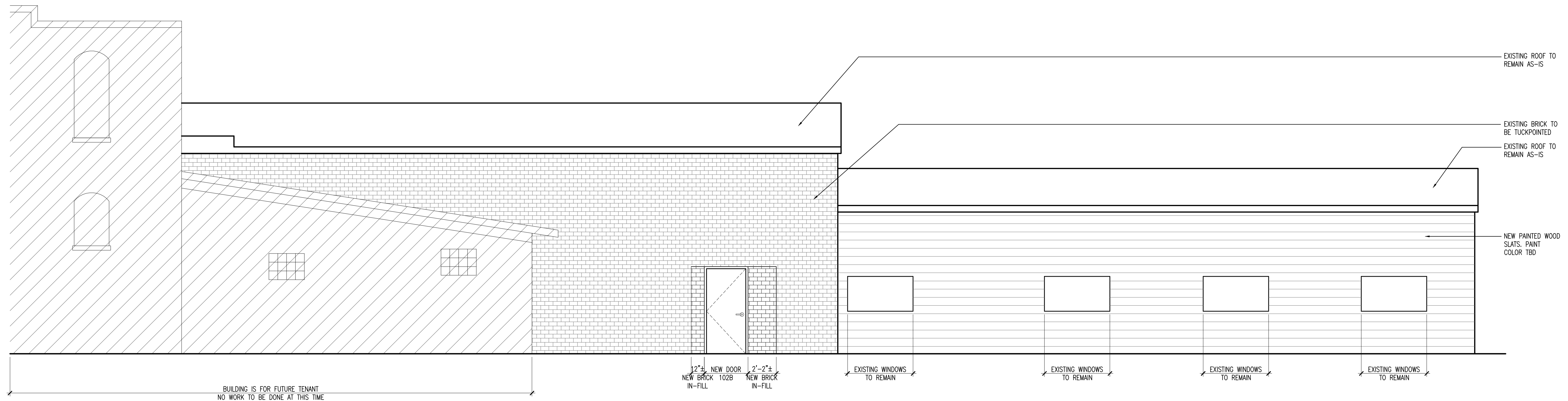
Title

Exterior  
Elevations  
Level 01

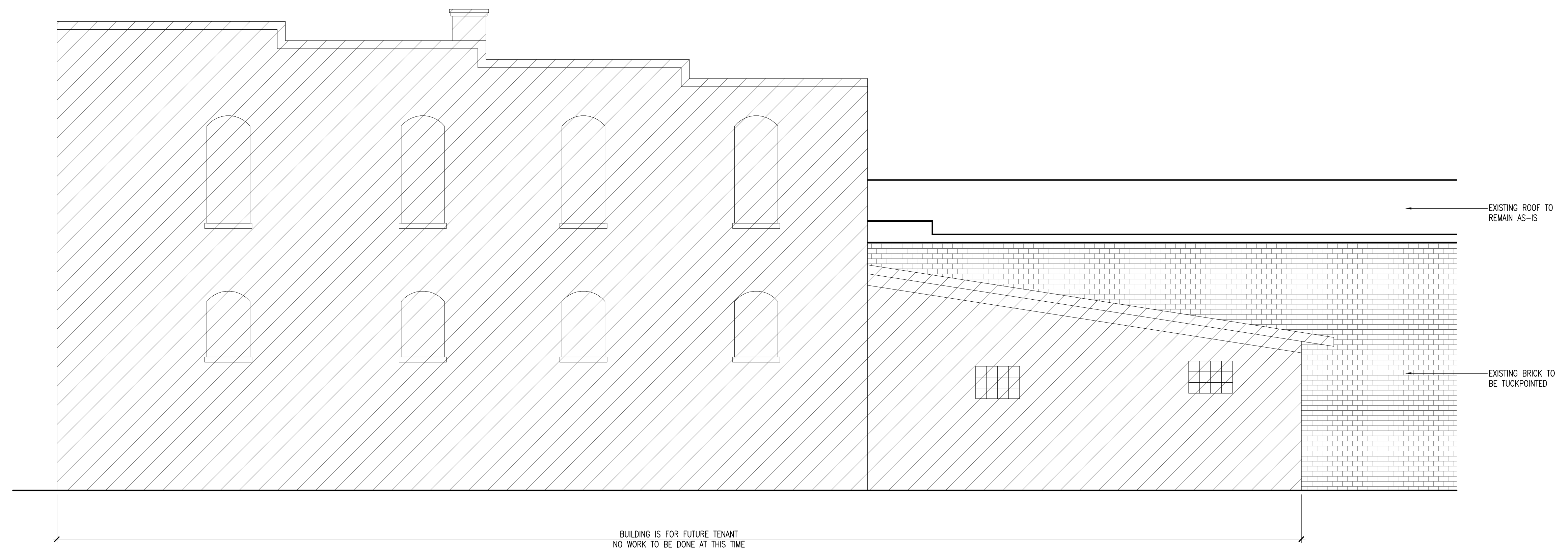
Sheet

A202

COPYRIGHT © 2015 - YELLOW DOG STUDIO

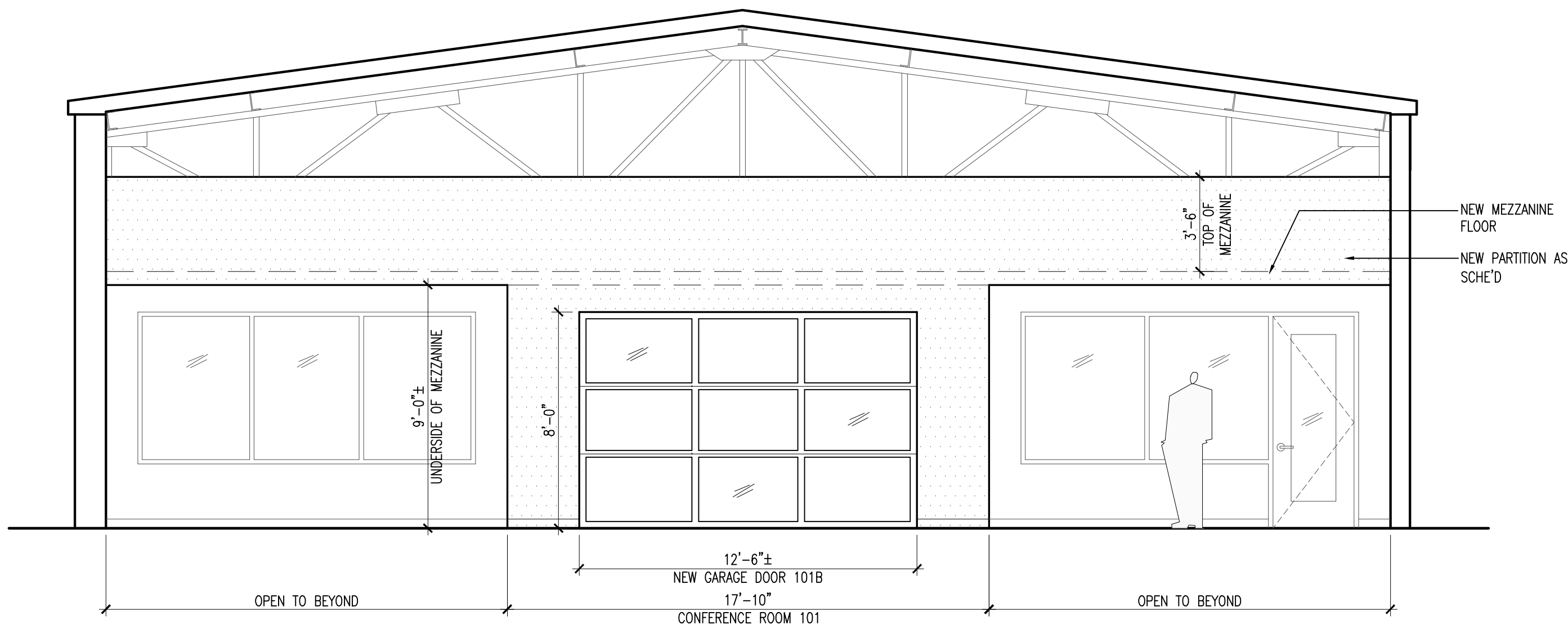


1 ELEVATION @ BUILDING SIDE – NORTH ELEVATION  
1/4" = 1'-0"

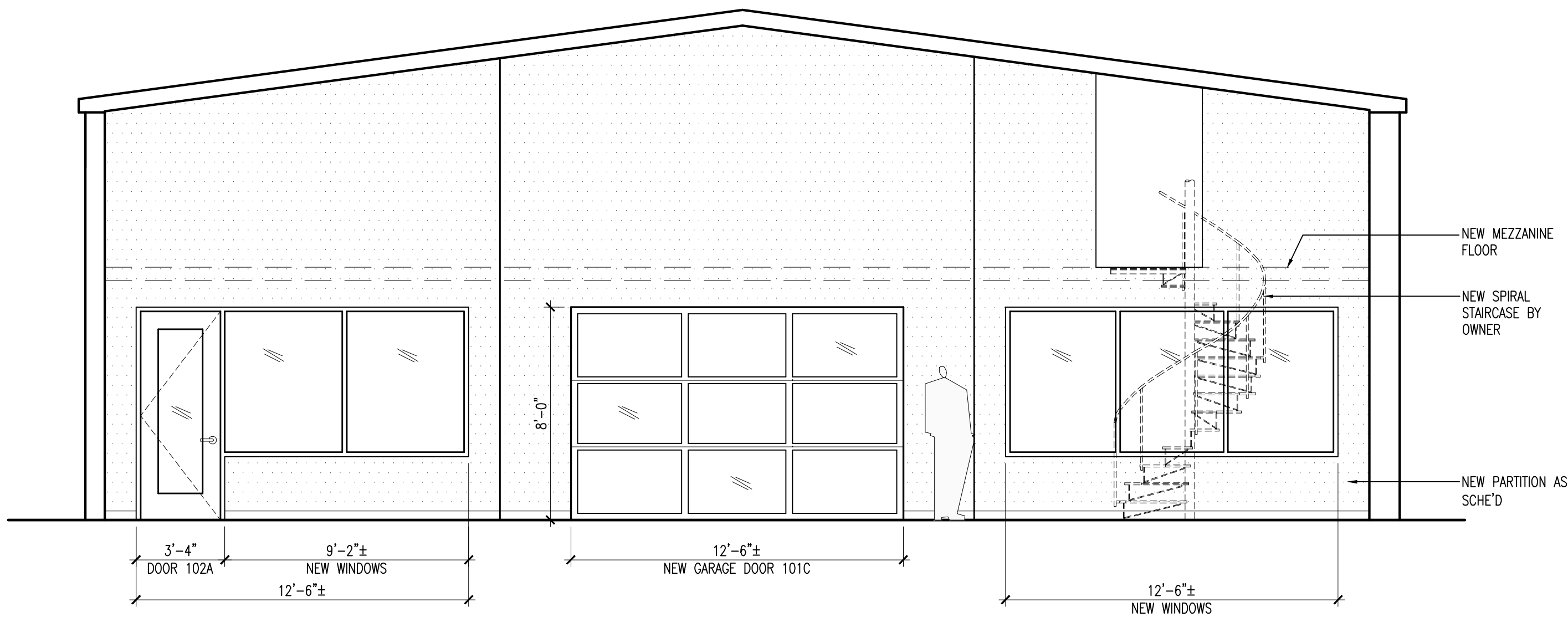


2 ELEVATION @ BUILDING SIDE CONTINUED - NORTH ELEVATION  
1/4" = 1'-0"





1 ELEVATION @ INTERIOR  
1/4" = 1'-0"



2 ELEVATION @ INTERIOR  
1/4" = 1'-0"

Certification  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT, WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: \_\_\_\_\_  
Name: **Kim M. Batcheller**  
Date: \_\_\_\_ Reg.No.: **53229**

Drawing Set Issue

NO.	ISSUE	DATE
01	Permit Set	-

Sheet Revisions

NO.	ISSUE	DATE

Prepared By

Yellow Dog Studio

2744 Lyndale Ave S  
Minneapolis, MN 55408  
612.251.1316

Date

March 2018

Scale

1/4" = 1'-0"

Title

Interior  
Elevations  
Level 01

Sheet

A203

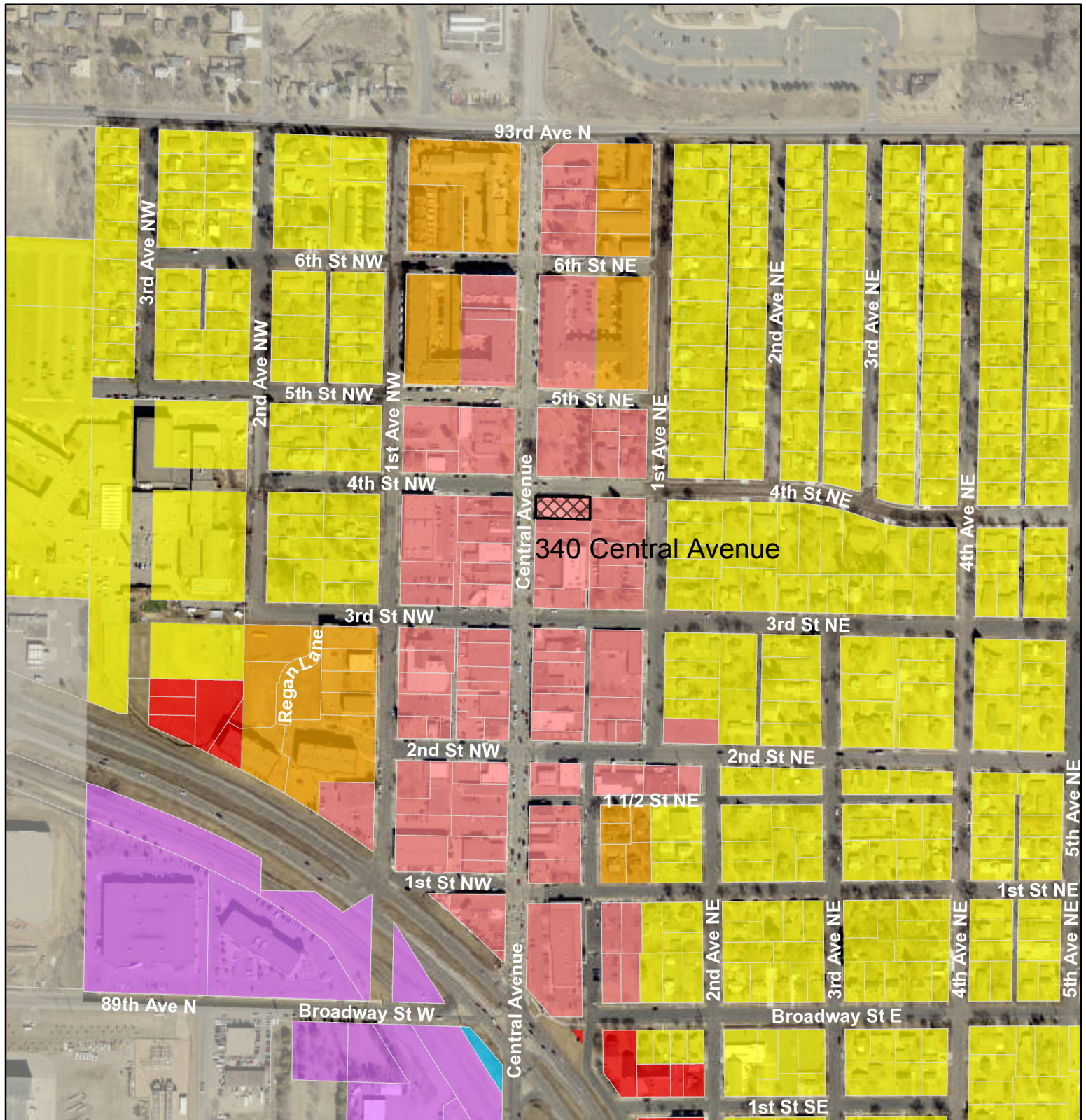
COPYRIGHT © 2015 - YELLOW DOG STUDIO







# 340 Central Avenue: Site-Building Plan Review



1 inch = 400 feet



February 22, 2018

Map Powered by DataLink  
from WSB & Associates

## Zoning Classification

- Central Business District (CBD)
- Highway Commercial District North (C2N)

- Highway Commercial District South (C2S)
- Manufacturing and Industrial District (M)

- One and Two Family Residential District (R-1)
- Multi-Family Residential District (R-2)
- Public Institution District (PI)





## City of Osseo

415 Central Avenue  
Osseo, MN 55369-1195

P 763.425.2624 F 763.425.1111

[www.DiscoverOsseo.com](http://www.DiscoverOsseo.com)

# NOTICE

## Planning Commission Public Hearing

- APPLICANT:** Jesse Dickinson for Zephyr Investments LLC
- LOCATION:** 340 Central Avenue
- REQUEST:** Site and Building Plan Approval
- TIME OF HEARING:** Monday, March 19, 2018 at 6:00 p.m. – City Hall Council Chambers
- HOW TO PARTICIPATE:**
- 1) You may attend the hearing and state your comments;
  - 2) You may send a letter before the hearing to the City of Osseo, Planning Department, 415 Central Avenue, Osseo, MN 55369 or fax to 763-425-1111; or
  - 3) You may send an email to [nabts@ci.osseo.mn.us](mailto:nabts@ci.osseo.mn.us)

If you want your comments to be made part of the public record, your letter, email, or fax must state your first and last name and your address. Thank you in advance for your cooperation.

- ANY QUESTIONS:** Please contact City Planner Nancy Abts at 763-425-1454 with the following information:

Project Name: 340 Central Avenue Site Plan Approval

You may visit City Hall (415 Central Avenue) during business hours to discuss the proposal, or visit our website after March 15, 2018 at <http://www.discoverosseo.com/departments/planning-commission/>

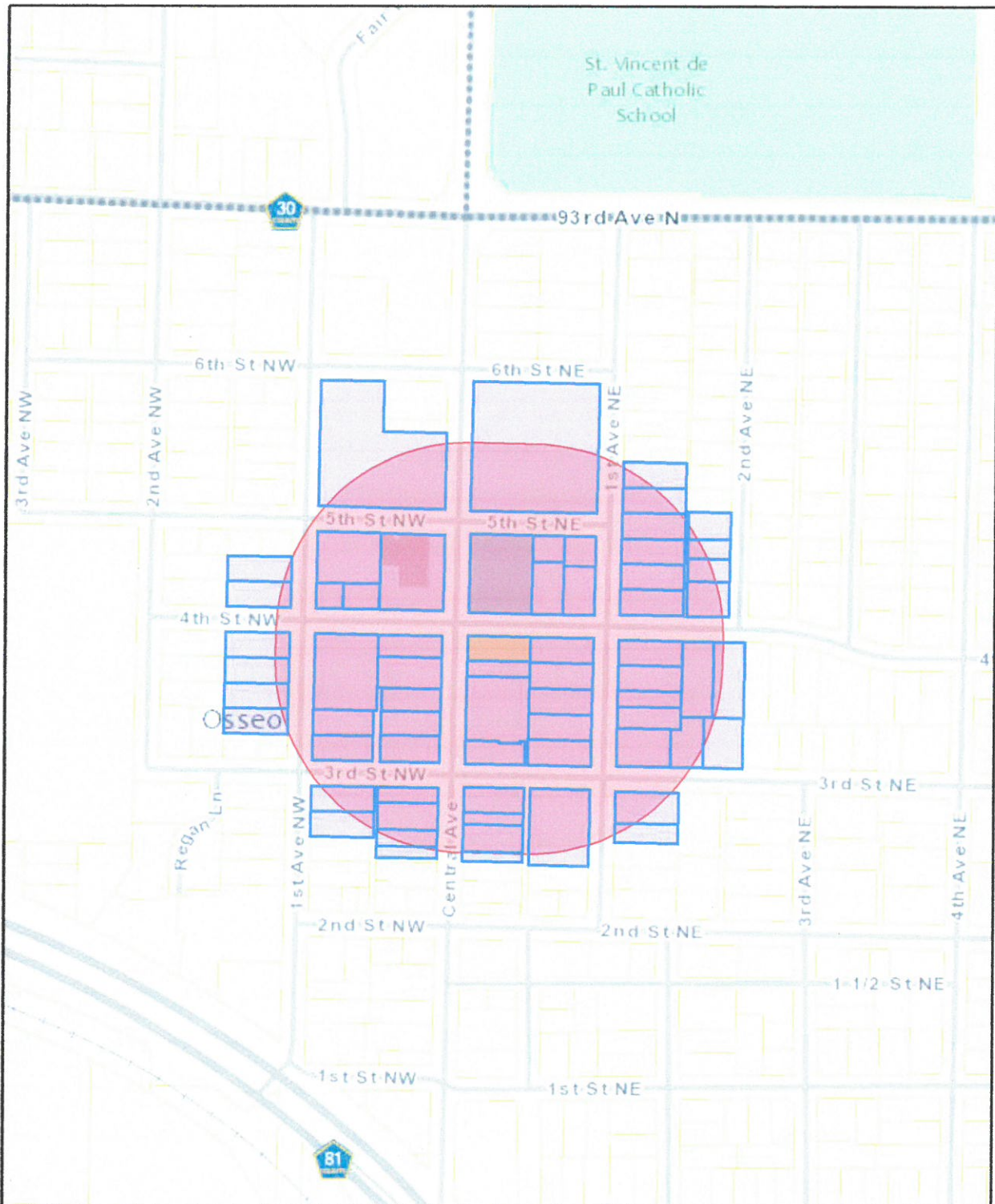
**Publication Date:** The Press (March 8, 2018)





# Hennepin County Locate & Notify Map

Date: 2/21/2018



**Buffer Size: 500 feet**

**Map Comments:**

0 120 240 480 ft  
|-----|-----|-----|-----|

This data (i) is furnished 'AS IS' with no representation as to completeness or accuracy; (ii) is furnished with no warranty of any kind; and (iii) is not suitable for legal, engineering or surveying purposes. Hennepin County shall not be liable for any damage, injury or loss resulting from this data.

For more information, contact Hennepin County GIS Office  
300 6th Street South, Minneapolis, MN 55487 / [gis.info@hennepin.us](mailto:gis.info@hennepin.us)



88 18-119-21 22 0014  
MARIA L HOLTHUS  
416 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0129  
DOROTHY M CLARKE  
16 5TH ST N E  
OSSEO MN 55369

88 18-119-21 22 0142  
CITY OF OSSEO  
415 CENTRAL AVE  
OSSEO MN 55369

88 18-119-21 22 0016  
KEVIN A SIZER  
332 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0131  
CITY OF OSSEO  
415 CENTRAL AVE  
OSSEO MN 55369

88 18-119-21 22 0151  
WILLOW CREEK GROCERY INC  
13738 210TH AVE N W  
ELK RIVER MN 55330

88 18-119-21 22 0017  
ANITA ANN KLATT  
324 1ST AV NE  
OSSEO MN 55369

88 18-119-21 22 0133  
CITY OF OSSEO  
415 CENTRAL AVE  
OSSEO MN 55369

88 18-119-21 22 0152  
REALIFE COOPERATIVE OF OSSEO  
12 6TH ST N E  
OSSEO MN 55369

88 18-119-21 22 0019  
THOMAS L SPANIER  
BARBARA J SPANIER  
17420 113TH AVE N  
MAPLE GROVE MN 55369

88 18-119-21 22 0134  
CITY OF OSSEO  
415 CENTRAL AVE  
OSSEO MN 55369

88 18-119-21 23 0008  
MARY E ABBEY  
105 3RD ST N E  
OSSEO MN 55369

88 18-119-21 22 0021  
WILLIAM & MAXINE CHRISTENSON  
124 4TH ST N E  
OSSEO MN 55369

88 18-119-21 22 0136  
ZEPHYR INVESTMENTS  
LIMITED LIABILITY COMPANY  
112 RIVER ST W PO BOX 524  
MONTICELLO MN 55362

88 18-119-21 23 0009  
BYRON & ERLEEN BRATON  
117 3RD ST N E  
OSSEO MN 55369

88 18-119-21 22 0022  
MARK COOK & ASHLEY COOK  
116 4TH ST NE  
OSSEO MN 55369

88 18-119-21 22 0137  
ZEPHYR INVESTMENTS  
LIMITED LIABILITY COMPANY  
112 RIVER ST W PO BOX 524  
MONTICELLO MN 55362

88 18-119-21 23 0010  
CHRISTOPHER SCHROEDER  
8800 138TH ST W  
SAVAGE MN 55378-3130

88 18-119-21 22 0098  
CYNTHIA L BECK  
425 2ND AVE N E  
OSSEO MN 55369

88 18-119-21 22 0138  
JAMES KILLMER  
MABEL ANYELE KILLMER  
333 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 23 0011  
CHERYL & BERNARD FROBERG  
232 1ST AVE NE  
OSSEO MN 55369

88 18-119-21 22 0099  
STANLEY D ROCHAT  
417 2ND AVE N E  
OSSEO MN 55369

88 18-119-21 22 0139  
DARLENE MCDOWELL  
325 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 23 0012  
MALCOLM TERRY  
224 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 22 0100  
ERICKA S SCHAPER  
NEAL A FOY  
409 2ND AVE N E  
OSSEO MN 55369

88 18-119-21 22 0140  
WILEY ENTERPRISES INC  
315 FIRST AVE NE  
OSSEO MN 55369

88 18-119-21 23 0054  
WILEY ENTERPRISES INC  
315 FIRST AVE NE  
OSSEO MN 55369

88 18-119-21 22 0101  
VIRGINIA BUSCH  
3000 DOUGLAS DR N #120A  
CRYSTAL MN 55422

88 18-119-21 22 0141  
PATRICK J & TRACY S MEVISSSEN  
308 1ST AVE N E  
OSSEO MN 55369

88 18-119-21 23 0055  
KIM D & PAMELA J KLOCEK  
301 1ST AVE N E  
OSSEO MN 55369



88 13-119-22 11 0027  
EDWARD COLUMBUS  
101 4TH ST N W  
OSSEO MN 55369

88 13-119-22 11 0112  
LIENEMANN INVESTMENTS LLC  
317 CENTRAL AVE  
P O BOX 437  
OSSEO MN 55369

88 13-119-22 14 0051  
WILEY ENTERPRISES INC  
315 1ST AVE NE  
OSSEO MN 55369

88 13-119-22 11 0028  
SCOTT D MINDRUM  
9697 103RD PL  
MAPLE GROVE MN 55369

88 13-119-22 11 0118  
JOEL PRINCETON  
16989 WEAVER LAKE DR  
MAPLE GROVE MN 55311

88 13-119-22 14 0053  
WILEY ENTERPRISES INC  
315 1ST AVE NE  
OSSEO MN 55369

88 13-119-22 11 0034  
KATHERINE M WILLIAMS  
317 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0119  
M D OF OSSEO LLC  
337 CENTRAL AVE  
OSSEO MN 55369

88 13-119-22 14 0093  
PREMIER BANK  
2866 WHITE BEAR AVE  
MAPLEWOOD MN 55109

88 13-119-22 11 0035  
ALLEN L COFFLAND  
JENNIFER J JORSTAD  
325 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0165  
CCJ INVESTMENTS LLC  
12055 93RD PL N  
MAPLE GROVE MN 55369

88 13-119-22 14 0095  
KENT & SHEILA ROBINSON LLC  
6030 173RD AVE N W  
RAMSEY MN 55303

88 13-119-22 11 0036  
JOHN E BARRETT  
ARLEEN BARRETT  
333 1ST AVE N W  
OSSEO MN 55369

88 13-119-22 11 0166  
OSSEO MAINSTREET HLDGS I LLC  
1416 MAINSTREET  
HOPKINS MN 55343

88 13-119-22 14 0102  
PREMIER BANK  
2866 WHITE BEAR AVE  
MAPLEWOOD MN 55109

88 13-119-22 11 0075  
SANDRA L WOESSNER  
33 44TH ST N W  
OSSEO MN 55369

88 13-119-22 11 0168  
CITY OF OSSEO  
415 CENTRAL AVE  
OSSEO MN 55369

88 18-119-21 22 0006  
BRADLEY J SCHARBER  
DALE SCHARBER  
500 1ST AVE N E  
OSSEO MN 55369

88 13-119-22 11 0076  
DAVID J & BARBARA E TAFOYA  
13322 86TH AVE N  
MAPLE GROVE MN 55369

88 13-119-22 14 0011  
JOSEPH J ST SAUVER  
309 1ST AVE N W  
OSSEO MN 55369

88 18-119-21 22 0007  
MARVIN E MILLER JR  
508 1ST AVE N E  
OSSEO MN 55369

88 13-119-22 11 0079  
CITY OF OSSEO  
415 CENTRAL AVE  
OSSEO MN 55369

88 13-119-22 14 0046  
MINNESOTA MEDITATION CENTER  
P O BOX 2945  
BAXTER MN 56425

88 18-119-21 22 0011  
SUSANN L LUNDERBORG  
424 1ST AVE N E  
OSSEO MN 55369

88 13-119-22 11 0080  
PREMIER BANK  
2866 WHITE BEAR AVE  
MAPLEWOOD MN 55109

88 13-119-22 14 0047  
MINNESOTA MEDITATION CENTER  
P O BOX 2945  
BAXTER MN 56425

88 18-119-21 22 0012  
JEFFREY M DARULA  
KELLY L JENSEN  
400 1ST AVE N E  
OSSEO MN 55369

88 13-119-22 11 0089  
MLJ MANAGEMENT LLC  
PO BOX 681556  
PARK CITY UT 84068

88 13-119-22 14 0049  
DIMITRIOS P SANTRIZOS  
10883 102ND AVE N  
MAPLE GROVE MN 55369

88 18-119-21 22 0013  
KENT L WESTPHAL  
408 1ST AVE N E  
OSSEO MN 55369



88 18-119-21 23 0060  
PETER & KIMBERLY KELZENBERG  
220 CENTRAL AVE  
OSSEO MN 55369

88 18-119-21 23 0061  
ITEN GARAGE LLC  
DANIEL L SPANIER  
208 FOURTH AVE NE  
OSSEO MN 55369

88 18-119-21 23 0062  
240 CENTRAL LLC  
221 FIRST AVE NE  
OSSEO MN 55369

88 18-119-21 23 0063  
MICHAEL GASPARRINI  
11976 39RD AVE N  
MAPLE GROVE MN 55369

88 18-119-21 23 0194  
WILEY ENTERPRISES INC  
315 1ST AVE NE  
OSSEO MN 55369

88 18-119-21 23 0198  
FIRST AVENUE COMMONS LLC  
PO BOX 1  
OSSEO MN 55369

88 18-119-21 23 0199  
FIRST AVENUE COMMONS LLC  
PO BOX 1  
OSSEO MN 55369

88 18-119-21 23 0200  
FIRST AVENUE COMMONS LLC  
PO BOX 1  
OSSEO MN 55369

88 18-119-21 23 0201  
FIRST AVENUE COMMONS LLC  
PO BOX 1  
OSSEO MN 55369

88 18-119-21 23 0202  
FIRST AVENUE COMMONS LLC  
PO BOX 1  
OSSEO MN 55369





## Osseo Planning Commission Meeting Item

**Agenda Item:** Consider Updates to Proposed Sign Ordinance Regarding Feather Banners

**Meeting Date:** March 19, 2018

**Prepared by:** Nancy Abts, City Planner

**Attachments:** Examples of Feather Banners  
Excerpts of proposed language  
Research on Perception of Street Graphics  
Front Foot Calculations for Commercial Properties

### Policy Consideration:

The Planning Commission should review additional information on spacing of Feather Banners.

provide input regarding changes to the proposed sign ordinance to allow Feather Banners as a new type of Class B / temporary signage in the city, under certain circumstance.

### Previous Action or Discussion:

The Planning Commission last discussed Feather Banners at their November 20 meeting. Following questions from members about spacing, more information is provided.

### Background:

The most recent staff suggestion for feather banners would have allowed them up to 28 square feet (e.g., 4' x 7') and up to the maximum height for signs in the district (i.e., 8' in the CBD and 15' in C2 and M districts). They would be allowed at a rate of one per property or one per 100 linear feet of front foot, whichever is greater. With more information about the time needed to perceive and respond to signs, it might be necessary to increase the spacing.

For County Road 81, appropriate spacing might be 150' if drivers are not expected to change lanes or move in response to a feather banner, or 550' if they are. For Central Avenue and Jefferson Highway, 100' might be appropriate if drivers will not change their travel due to a sign. If they are expected to change their driving after reading a sign, limiting the banners to one per block on Central Avenue, or one every 300' on Jefferson Highway, would be reasonable.

Some cities also choose regulate the hours or number of days that these signs can be displayed. Osseo could consider these types of restrictions as well.

### Budget or Other Considerations:

Permit fees for sign permits can be set to cover the cost of administering the permit.



**City Goals Met By This Action:**

- 2) Foster and promote economic development in the City
- 8) Update the City Code
- 15) Stay current with new technologies in all areas of City services

**Options:**

The Planning Commission may choose to ***make the following recommendation*** to the City Council:

- 1. Approve the proposed restrictions for Feather Banners as presented;
- 2. Approve the proposed restrictions for Feather Banners with noted changes/as amended;
- 3. Deny the proposed restrictions for Feather Banners;
- 4. Table action on this item for more information.

**Recommendation/Action Requested:**

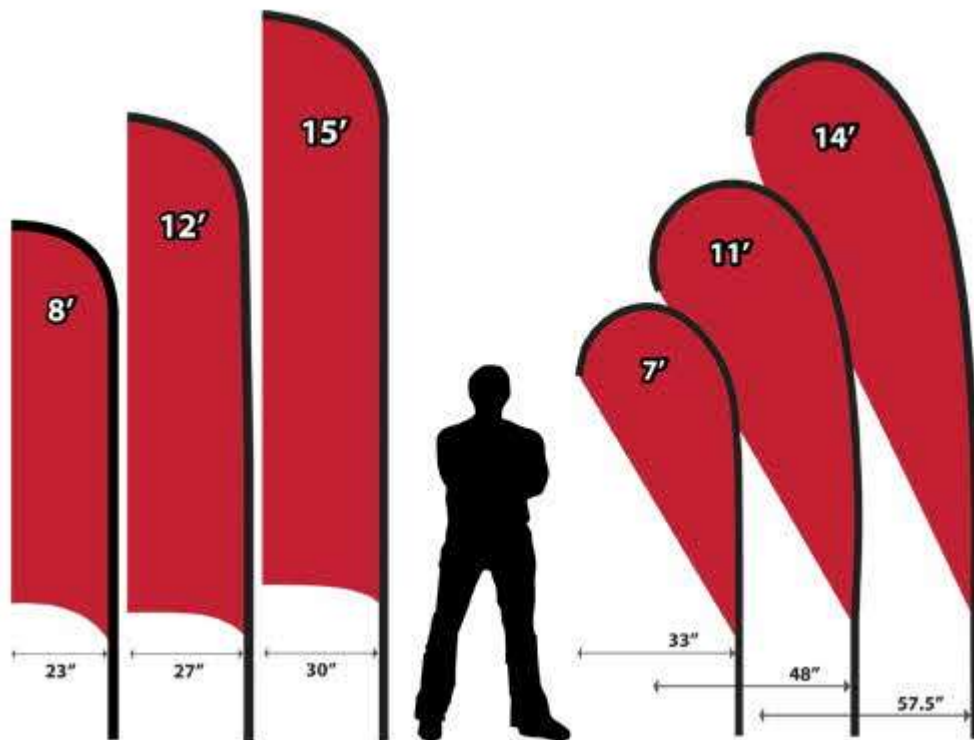
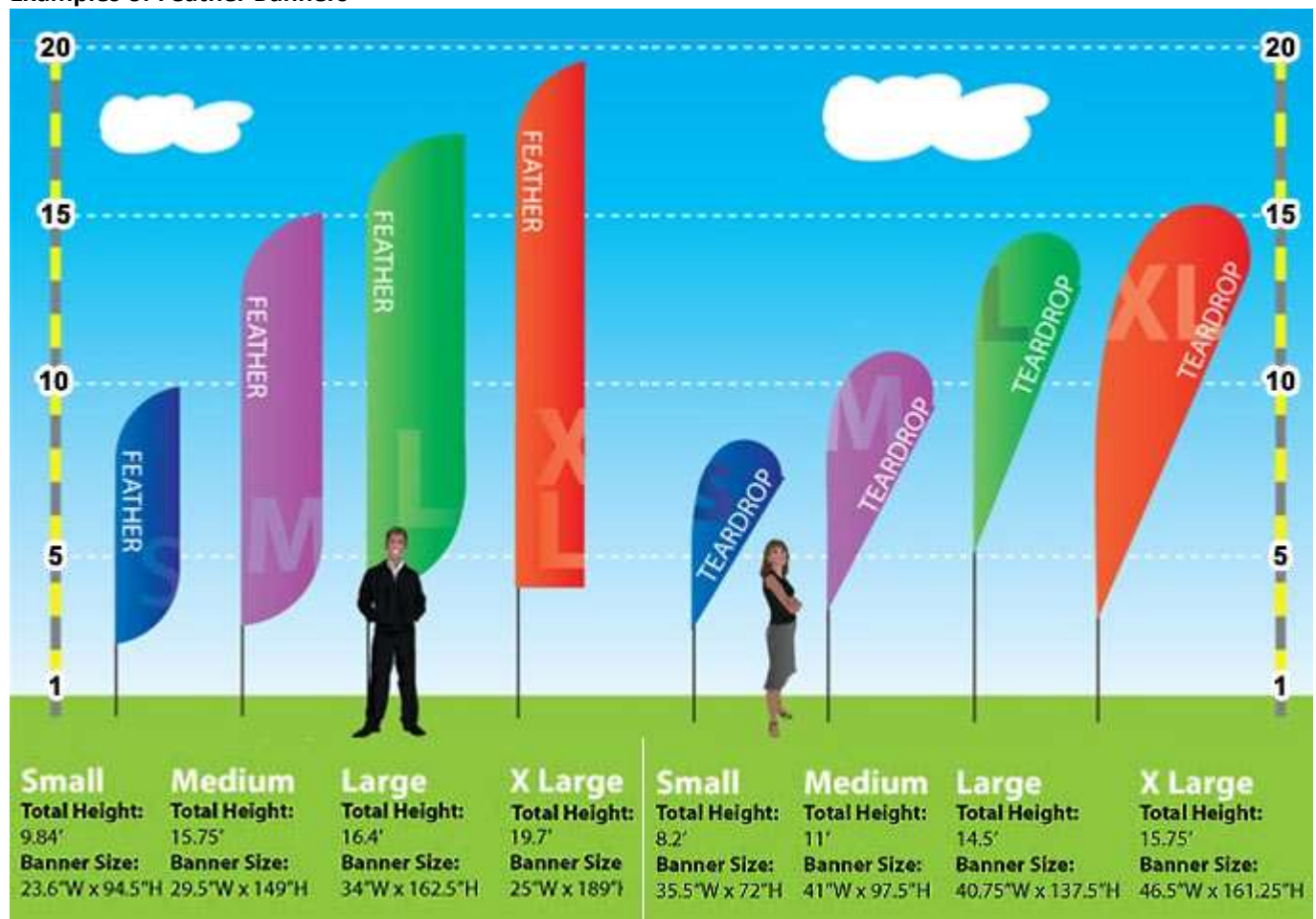
Staff recommends the Planning Commission discuss the matter and provide staff with direction.

**Next Step:**

The item will be placed on an upcoming City Council meeting for consideration and approval.



## Examples of Feather Banners





## 153.091 DEFINITIONS

The following words and terms, when used in this section, shall have the following meanings, unless the context clearly indicates otherwise:

**BANNER:** A sign constructed of cloth, paper, plastic or other material upon which copy is written and supported either between poles or fastened to buildings or other structures and that is supported or anchored on two (2) or more edges or at three (3) or more corners. Banners also include such signs which are supported by an internal frame or are anchored along one edge, or two (2) corners, with weights or supports installed that substantially reduce the reaction of the sign to wind. Special conditions apply for FEATHER BANNERS, which do significantly react to the wind.

**FEATHER BANNER:** A type of elongated banner and freestanding temporary sign typically made of a flexible fabric or similar material attached to a long rigid pole in the general shape of a feather, teardrop, or similar shape. The definition includes functionally similar display devices. Also commonly known and referred to as a “banana banner” or “teardrop banner”.

**FRONT FOOT:** The measurement of the frontage of a lot abutting a public street. In cases where a lot abuts multiple public streets, the longest side will be used in determining the front foot for a lot.

**MOVEABLE SIGN:** A temporary sign, made of vinyl, paper, cloth or fabric, corrugated plastic, cardboard, plywood or similar material including signs with wood or wire framing, posts or stakes, supported by the ground but not permanently attached to the ground, which can be regularly moved from a location at periodic intervals, and which has a total height not exceeding four feet (4') and a total area not exceeding six (6) square feet. The term includes sandwich board signs and feather banners. The term does not include banners. A movable sign is not considered to be a portable sign.

**PRINCIPAL BUILDING:** The building in which the principal use of the property or site occurs. Buildings with multiple principal uses shall not constitute multiple principal buildings but shall be considered a single building. Storage buildings, garages, and other clearly accessory buildings shall not be considered principal buildings.

**PRINCIPAL ENTRANCE:** The main public doorways, lobby, or access leading or entering into a building or structure. A property with multiple principal buildings or a building with multiple tenants may have more than one principal entrance.

**PROPERTY:** Any lot or parcel of land which has been legally created and has been assigned a separate parcel identification number.

## 153.092 ADMINISTRATION

(B) *General Provisions.*

...

(2) *Placement:*

(a) Moveable signs, including Sandwich board signs and Feather banners, shall not be placed in the public right-of-way, except as an outside display area allowed by § 153.054 of the Code of Ordinances. Moveable signs shall not be permanently



affixed to any structure, and moveable signs in the right-of-way may only be displayed during the hours that the principal use is open for business.

...

(3) *Regulations:*

(a) General: Except as hereinafter provided, no sign shall be erected or maintained at any angle to a building or structure which extends over a property line; or street, alley, sidewalk, highway, utility easement, or other public property.

1. Overhang signs. Buildings that are permitted to be constructed with no setback from property lines are permitted to have mounted signs that overhang sidewalk rights-of-way a maximum of one and one-half feet (1.5'), with a minimum clearance of eight feet (8') between the bottom of the overhang sign and the sidewalk surface.

(b) Electronic Message Display (EMD) signs. Properties that are permitted to display an EMD may only display an EMD under a Conditional Use Permit identifying the EMD as an approved Conditioned Use.

(c) Sandwich board signs. The number of sandwich board signs is limited to one per principal entrance.

(d) Feather banners. The number of feather signs is limited to one per property, or one per every one hundred (100) linear feet of Front Foot, whichever is greater. Each Feather sign shall comply with applicable district sign height and area restrictions and in no cases shall not exceed twenty-eight (28) feet in total area.

(4) *Electrical Signs:* Electrical signs must be installed in accordance with the current electrical code and all necessary electrical and building permits must be obtained prior to placement.

(5) *Prohibited Signs:* The following signs are prohibited signs in all districts and areas within the city:

(a) Any sign, signal, marking or device which purports to be or is an imitation of or resembles any official traffic control device or railroad sign or signal, or emergency vehicle signal, or which attempts to direct the movement of traffic or which, in the discretion of the zoning administrator, hides from view or interferes with the effectiveness of any official traffic control device, roadway, intersection or any railroad sign or signal. This section does not include signs, signals, marking, or devices which are installed and maintained by or under agreement with a unit of government.

(b) Abandoned signs.

(c) Roof signs.



- (d) Signs painted, attached, engraved, etched or in any other manner affixed to public utility poles, bridges, towers, streetlights, or similar public structures except as otherwise provided herein.
- (e) Any sign larger than 3 square feet which is animated, or which moves or rotates, including ANIMATED SIGNS, FLASHING SIGNS, and SHIMMERING SIGNS, but excluding FEATHER BANNERS as permitted by this chapter.
- (6) *Setbacks:* Freestanding signs shall conform to building setback regulations for the zoning district in which the signs are located, except as otherwise specified in this section. Setbacks shall be measured to the outermost portion of the sign:

	<b>R-1</b>	<b>R-2</b>	<b>CBD</b>	<b>C2-N, C2-S, M</b>	<b>PI</b>
Front yard setback	1'	5'	2'	10'	0'
Side yard setback	10'	5'	2'	5'	0'
Rear yard setback	10'	5'	2'	5'	0'
Rear / side yard setback abutting R district	n/a	10'	10'	10'	10'



# Analysis of spacing concerns for Feather Banners

## Goal: Maximize utility of banners without overcrowding the visual environment

Resources: In August 2015, the American Planning Association published a Planning Advisory Service (PAS) report relating to street graphics—essentially, signs visible from public streets. This report summarizes information on how the average human is able to perceive signage while travelling on different types of roadways. *(A copy of the report can be reviewed at City Hall. Because it is copyrighted, it is not being included with the meeting packet.)* The overall legibility of a sign is affected by its height, color, font characteristics, and layout. The report provides computation and reaction times estimated for a sign with “good” legibility.

According to the report, “seeing” a sign involves several steps:

1. detecting the sign,
2. scanning/reading its message,
3. reorienting attention from the sign to the road, and, in some cases,
4. maneuvering the vehicle in response to the sign’s message.

Depending on the complexity of the driving environment, time needed to maneuver may be slightly different. However, the time needed for the first three tasks is similar for the three environments analyzed.

TABLE 4.2. COMPUTATION OF VIEWER REACTION TIME			
Task	Driving Environment		
	Simple	Complex	Multilane
Detection	0.5 sec	1 sec	1 sec
Message Scan	0.1 sec/letter	0.1 sec/letter	0.1 sec/letter
	0.5 sec/symbol	0.5 sec/symbol	0.5 sec/symbol
Reorientation Scan	0.02 sec/letter	0.04 sec/letter	0.04 sec/letter
	0.1 sec/symbol	0.2 sec/symbol	0.2 sec/symbol
Maneuver	4 sec	5 sec	6 sec

1. Developed town or city commercial areas: single or multilane travel under 35 mph.  
2. Developed urban/suburban commercial areas: multilane travel over 35 mph.

www.planning.org AMERICAN PLANNING ASSOCIATION 29

County Road 81 is a multilane road with a speed limit of 45 miles per hour, so the Multilane calculations are used. In this driving environment, passersby would need approximately 1 second to detect the message, another second to read a brief “Now Open” or “Huge Sale” message, and another fraction of a second to reorient to the road. Travelling at a speed of 45 miles per hour, a driver will proceed approximately 132-160 feet while reading a sign with such a message. If drivers also need to maneuver in response to a sign, an additional 396’ are needed, for a total of 528’-556’.

Similarly, Central Avenue and Jefferson Highway are “complex” roads with single lane travel and a speed limit under 35 miles per hour. The roads’ multiple cross streets, curb cuts, and adjacent businesses prevent them from being a “simple” driving environment. On these streets, a driver would travel approximately 88’-110’ while processing a sign. If drivers were also to maneuver in response to these signs, they would need 308’-320’, approximately the length of one Central Avenue block.



**Conclusion:**

Therefore, it seems that spacing of 130'-200' between large temporary signs intended to be viewed from moving vehicles would be reasonable. If the City also wants to anticipate drivers maneuvering in response to the signs, spacing of 530'-560' would be needed for County Road 81 and 300'-350' for Central Avenue and Jefferson Highway.



# C-2 Front Foot Estimates



1 inch = 400 feet



November 27, 2017

Map Powered by DataLink  
from WSB & Associates



# M Front Foot Estimates



1 inch = 400 feet



November 30, 2017

Map Powered by DataLink  
from WSB & Associates



# CBD-1 Front Foot Estimates



1 inch = 100 feet

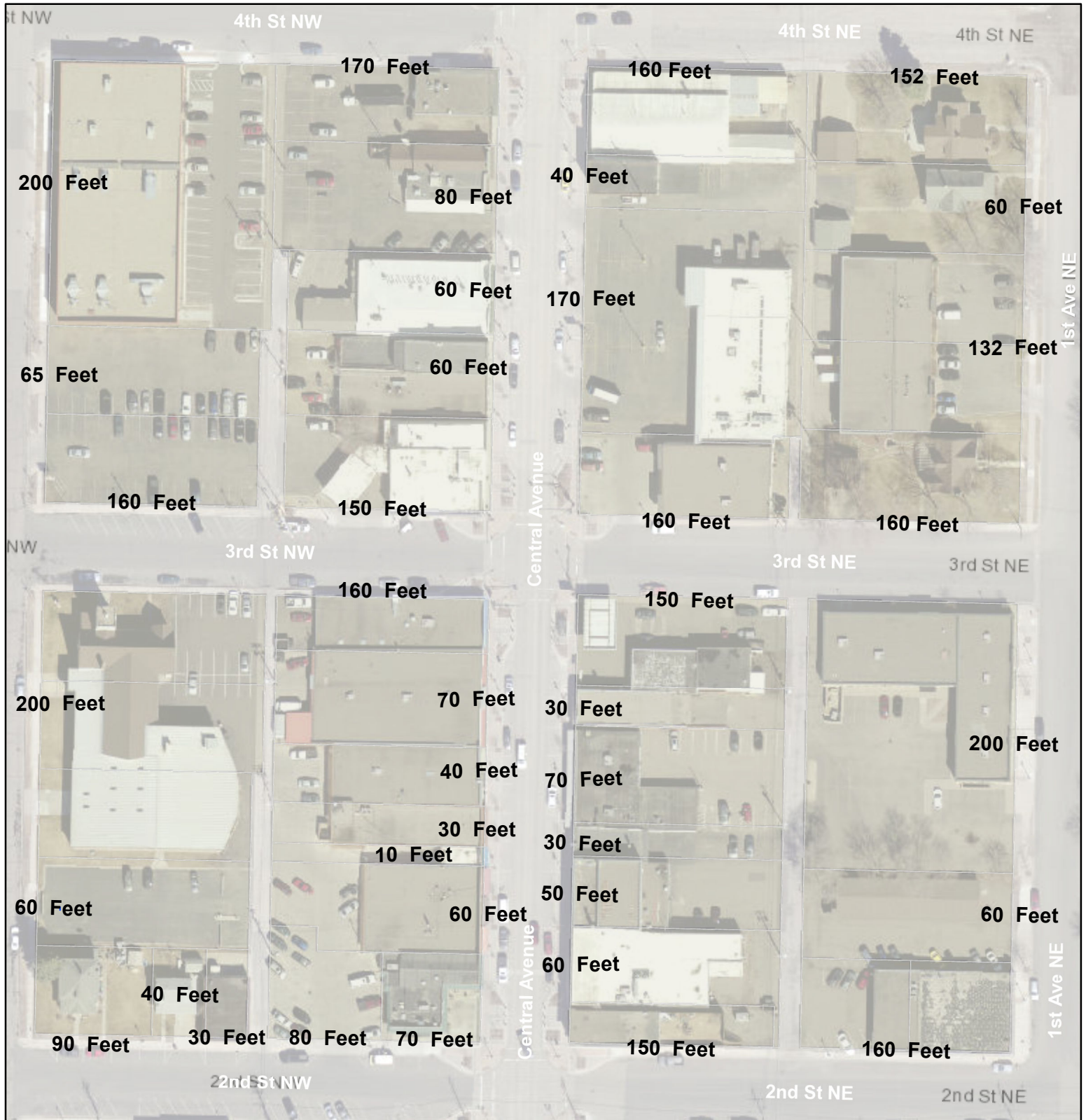


November 27, 2017

Map Powered by DataLink  
from WSB & Associates



# CBD-2 Front Foot Estimates



1 inch = 100 feet

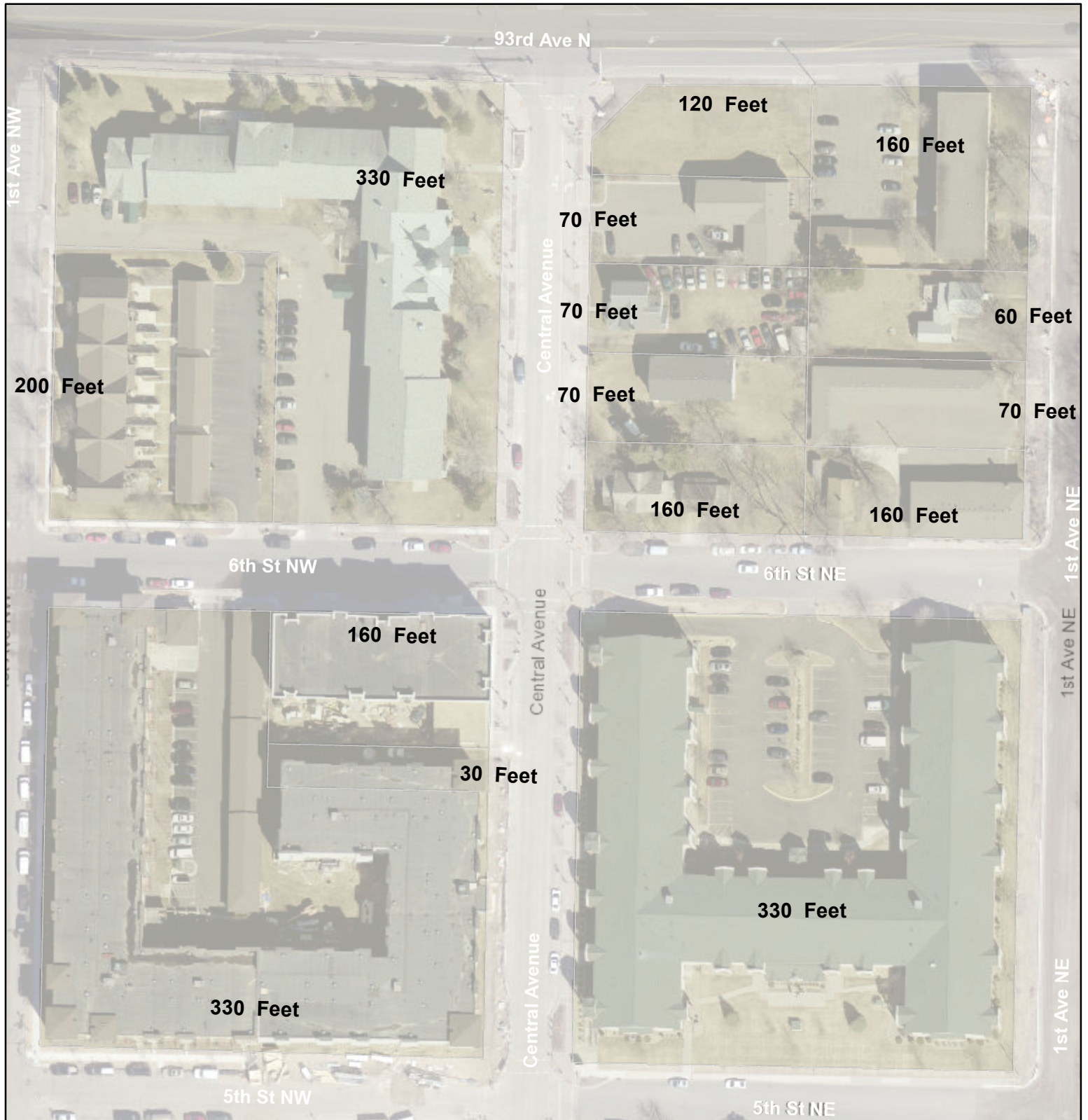


November 29, 2017

Map Powered by DataLink  
from WSB & Associates



# CBD-3 Front Foot Estimates



1 inch = 100 feet



November 29, 2017

Map Powered by DataLink  
from WSB & Associates





## Osseo Planning Commission Meeting Item

**Agenda Item:** Consider Landscape Plan Modifications for 108 Broadway Street West

**Meeting Date:** March 19, 2018

**Prepared by:** Nancy Abts, City Planner

**Attachments:** Excerpt from August 10, 2009 City Council Minutes  
Excerpt from July 20, 2009 Planning Commission Minutes  
July 20, 2009 Planning Commission Staff Report  
Excerpt from City Code § 153.057 LANDSCAPING.  
2009 Landscape Plan  
2018 Revised Landscape Plan

### Policy Consideration:

Consider approving modifications to the landscape plan for 108 Broadway Street West to allow a 2009 Landscape Bond to be returned.

### Previous Action or Discussion:

The City Council approved a site plan, including a landscape plan, for 108 Broadway Street on August 10, 2009. City Code § 153.057 (5) (d) LANDSCAPING *Requirements applicable to all districts* conditions return of the landscape bond “upon complete and satisfactory implementation of the approved landscape plan.” This ordinance was adopted in 1994.

The modifications to the landscape plan were not noted on the applications for January 2016 variance and site plan approvals for the property. The January 2016 project involved a continuation of work that was first considered under the 2009 applications. Due to the limited approval period for variances and site plan approvals, a new application process was needed before work could be continued.

### Background:

The property owner of 108 Broadway Street West has requested the Landscape Bond collected in 2009 be returned. The landscape plan approved in 2009 has not been satisfactorily completed. Instead, the property owner requests approval of a modified landscape plan.

The landscape plan submitted with the 2009 application indicated a total of 30 trees on the property: 3 Basswood, 22 Boxelder, 4 Juneberry, and 1 Elm. Landscaping requirements for the Manufacturing District include one tree for every 1,000 square feet of building. The 2009 project required 20 trees, and the plan at that time gave credit for several of the large Boxelders in meeting that requirement. However, Boxelders are among a handful of “prohibited species” that the City Code indicates cannot be used to meet landscaping requirements. In this updated plan, the City may consider whether to include or exclude Boxelders in the final tree calculations.



The revised landscaping plan shows a total of 11 added trees: 6 Blue Spruce, 1 Armstrong Maple, 2 Red Maple, 1 Cherry, and 1 Crabapple. With the exception of the Red Maple, the indicated diameters for the Armstrong Maple, Cherry, and Crabapple are smaller than the 2 ½ inches in diameter required by Code. Some of the blue spruce indicated on the updated plan are located in a drainage easement along the northwest side of the driveway. Moving trees out of the easement was discussed during the 2009 approval. The current Public Works Director suggests that the trees be allowed to remain in the easement if the property owner signs an acknowledgement agreeing to be fully responsible for replacing them if work must be done in the easement area in the future.

Some areas previously identified as being covered in sod have been replaced with gravel beds.

The applicant has also provided numerous ornamental shrubs.

**Recommended Conditions of Approval:**

1. The property owner shall agree to be full responsible for replacing items located in the easement along the west side of the driveway, if those items are affected by future utility work in the easement.
2. Weeds and other vegetation shall be maintained at all times in accordance with Chapter 93.38 of the City Code.
3. If further modifications to the site plan result in significant alterations, the applicant shall apply for an amended site plan through a public hearing.

**City Goals Met By This Action:**

14) Promote a healthy and high quality standard of living

**Options:**

The Planning Commission may choose to ***make the following recommendation*** to the City Council:

1. Approve the Landscape Plan Modifications, subject to the listed conditions of approval;
2. Approve the Landscape Plan Modifications with noted changes/as amended;
3. Deny the Landscape Plan Modifications;
4. Table action on this item for more information.

**Recommendation/Action Requested:**

Staff recommends the Planning Commission consider the proposed landscape plan modifications and make a recommendation to City Council.

**Next Step:**

The item will be placed on a future City Council meeting for consideration and approval.



**OSSEO CITY COUNCIL  
REGULAR MEETING MINUTES  
AUGUST 10, 2009**

1. CALL TO ORDER

Mayor John Hall called the regular meeting of the Osseo City Council to order at 7:00 p.m. on Monday, August 10, 2009.

2. ROLL CALL

Members present: Council members Brian Kleven, Steve Menth, Steve Parks, Ken Schreiber, and Mayor John Hall.

Staff present: City Administrator Greg Withers, City Attorney Loren Magsam, City Planner Jeffrey Dahl, and Deputy Clerk LeAnn Larson.

Others present: Martin Duffy, Sally & Ty Schmidt, LeRoy LaVallee, Jane Schepanik, Bob Kohls, Tony Mortinson, Todd Kintzi, Matt Regan, Terry McNeil, Mike Ryan, Tom Hartkopf, Jim Hilgendorf, Tim Lindholm, Howard Hornibrook, P. Johnson, A. Webster, Alicia Miller, Al Lindquist, and Ron Barger.

...

10. NEW BUSINESS

a. CONSIDER JULY PLANNING COMMISSION ITEMS

...

ii. RYAN PROPERTY DEVELOPMENT

Dahl presented the request from Ryan Company for a site plan/variance/ Comprehensive Plan Amendment for the company located at 108 Broadway Street West. Applicant Michael Ryan of Ryan Company has submitted a Site Plan Application, Request for a Side-yard Setback Variance, Variance to Expand a Non-conforming Use, and a Comprehensive Plan Amendment Request to redevelop its property at 108 Broadway Street West. The redevelopment proposes the remodel and expansion of two existing buildings and construction of an additional building for a total increase of 11,260 sq. ft. In addition, the redevelopment request is proposing landscaping and parking lot improvements.

The Planning Commission concurred with staff and unanimously recommended approval of Site Plan request subject to conditions of approval. These conditions are as follows:

- 1) The approved final landscaping plan shall be fully executed prior to issuance of certification of occupancy;
- 2) The applicant shall submit a landscaping bond worth 100% of the value of the landscaping project and be kept with the City for one year after installation;
- 3) The applicant shall pay all necessary park dedication fees and SAC fees prior to issuance of the building permit;
- 4) Due to the environmental issues on the former Bennett Property, the applicant shall submit a report from an environmental engineer based on the history of the parcel and confirm that any outstanding environmental issues shall be undertaken and addressed in accordance with county, state, and federal regulations prior to issuance of building permit;



- 5) All HVAC and other ground or rooftop mechanical equipment shall be hidden from view with materials that match materials and color used on the building;
- 6) The applicant shall obtain all necessary building and sign permits and pay all fees related to the proposed development;
- 7) The applicant shall satisfy all comments and concerns from the City Engineer's memo dated August 5, 2009 prior to building permit review;
- 8) With the exception of the west side of building #1 and the north and west sides of building #2, all sides of the existing metal buildings shall be remodeled with EFIS or new metal siding as described per plans dated June 18, 2009, and, with the exception of the west side of building #1, concrete block as an exterior material shall be molded, serrated, or treated with a textured material in order to give the wall surface a three-dimensional character;
- 9) Any private property (or part of) that is currently being used as a public road shall be deeded or otherwise dedicated to the City prior to the issuance of the building permit at the applicant's expense;
- 10) Lighting that is visible from public right-of-way shall be shielded and downward directed;
- 11) Demolition of existing accessory buildings shall require proper permits from local and state government levels;
- 12) Weeds and other vegetation shall be maintained at all times in accordance with Chapter 93.38 of the City Code; and
- 13) Existing power poles parallel to the railroad shall be removed prior to the issuance of the first certificate of occupancy.

#### Variances

The Planning Commission unanimously recommended approval of the side-yard setback variance and the variance to expand a non-conforming structure for the following reasons:

- The property is irregularly shaped;
- Setback restrictions were less restrictive at the time the building was constructed;
- The hardship was not created by the owner; and
- Approval of the variances will not negatively impact the surrounding neighborhood and will not be a detriment to public welfare.

#### Comprehensive Plan Amendment

The Planning Commission concurred with staff and unanimously recommended approval of the Comprehensive Plan Amendment Request to amend the subject property's land use from Office to Light Industrial.

**A motion was made by Kleven, seconded by Menth, to approve the Site Plan Application to redevelop the Ryan property at 108 Broadway Street West per the 13 named conditions. The motion carried 5-0.**

...



**OSSEO PLANNING COMMISSION MINUTES**  
**REGULAR MEETING**  
**7:00 p.m.**  
**July 20, 2009**

1. CALL TO ORDER

The regular meeting of the Osseo Planning Commission was called to order by Chair Susan Hanson at 7:00 p.m., Monday, July 20, 2009.

2. ROLL CALL

Present: Commission members Dorothy Clarke, Barbra Plzak, Melanie Larsen Sinouthasy, Brad Hansen, John Cochran, RJ Wiley and Chair Susan Hanson.

Others present: Jeffrey Dahl, City Planner; Jim Hilgendorf, City of Brooklyn Park Building Official, Howard Hornibrook, and Michael Ryan.

...  
6. PUBLIC HEARINGS

**b. Site Plan/Variance/Comprehensive Plan Amendment Request from Ryan Company at 108 Broadway St. W.**

**A motion was made by Cochran, seconded by RJ Wiley, to open the Public Hearing for the Site Plan/Variance/Comprehensive Plan Amendment Request from Ryan Company at 108 Broadway St. W. The motion carried 7-0.**

Dahl stated that applicant Michael Ryan of Ryan Company submitted a Site Plan Application, Request for a Side-yard Setback Variance, Variance to expand a Non-Conforming Use, and a Comprehensive Plan Amendment in order to redevelop its property at 108 Broadway St. W. The redevelopment proposes for the remodel and expansion of two existing buildings and construction of an additional building for a total increase of 11,260 sq.ft. In addition, the redevelopment request is proposing landscaping and parking lot improvements. The property is under the ownership of Michael Ryan and Howard Hornibrook, is zoned M, Manufacturing and Industrial and is guided as Office in the Land Use Plan.

Three sides of the property are surrounded by the M, Manufacturing and Industrial Zoning District in Osseo. The west side of the property is adjacent to manufacturing-zoned land in the City of Maple Grove. Approximately 500 feet to the north, across County Road 81, is the Central Business District Zoning District.

The existing property entails the following businesses: Ryan Company, a construction company; Redwood Signs, a sign manufacturer; Affordable Sanitation, a portable bathroom distributor; and Fairfax Asphalt; a paving company.

On October 27, 2008, the City Council approved a lot split and combination with 108 Broadway St. W. and part of the former 100 Broadway St W. (formerly known as the Bennett Property, owned by the EDA). The combination is still in progress with Hennepin County. Combining the lots allows the applicant adequate room for a new access onto their property and more visibility. With this new access, they are proposing to improve their existing property. The uniquely shaped property is 3.48 acres and currently contains three buildings and a cell tower, which is adjacent to the cemetery at the northwest



corner of the property. The southern portion of the property is used as outdoor storage for the aforementioned businesses. The Bennett Property was recently excavated due to some environmental contamination and is now officially clean per the Minnesota Pollution Control Agency (MPCA).

In summary, the site plan proposes to: 1) remodel and expand "Building 1" (currently 6,000 sq. ft. with 9,100 sq. ft. of additional office and warehouse space; 2) remodel and expand "Building 2" (currently 1,984 sq. ft.) with an additional 1,200 sq. ft. of office and warehouse space; and 3) demolish existing accessory structure and construct "Building 3" (960 sq. ft.) small warehouse.

Per 153.079, 35 spaces are required. The site plan shows 39 total parking spaces on site, so according to the plan, this does meet the parking requirements.

The applicant has improved the parking and ingress/egress areas to meet code. The property has just one access; on the far north end off of Broadway St. W. Vehicular traffic is able to enter the property, park adjacent to one of the three buildings, turn around, and exit the property with ease. Because of the nature of the businesses, the applicant has designed the parking area to allow a semi-truck to accomplish a 360-degree turn. The southern portion will be gated and will allow enough room to accomplish a 360-degree turn as well. The Fire Chief has reviewed the plans and there is adequate room for fire trucks to get to the site.

Because there are Significant Trees adjacent to the property line to the north and no additional trees are needed to meet code. The applicant has submitted a landscaping plan adding four (4) trees (2-Blue Spruce and 2-Red Maples) in order to create a more pleasing entrance to the property.

The applicant has also added small plantings or shrubs along the front of all of the buildings as well as a few plantings near the entrance. While there is no minimum green space requirement for properties in the M Zoning District, the redevelopment proposes approximately 14% green space.

The applicant is proposing to drain the majority of the improved area to an approximately two (2) foot deep swale that would run parallel with the entryway into the development. The swale would be over a public easement in which a storm sewer runs through. The applicant proposes to use the existing catch basin into the main (public) storm sewer line in case the swale was to overflow with storm runoff. The applicant is not proposing any additional storm drainage improvements to the outside storage area on the southern half of the property.

The existing structures are currently entirely made of metal, which is not allowed per 153.053 (F) zoning code. The applicant is proposing to remodel the existing office areas with EIFS and the existing warehouse/manufacturing space in the existing buildings with a new metal siding front. The new office area added to "Building 1" and "Building 2" are proposed to be made of EIFS or metal as well and the new warehouse/manufacturing areas for all of the buildings are proposed to be made out of rock-face (top and side) and scored block (in the middle). "Building 3" is proposed to be entirely rock-face and scored block. Overall, the goal of the new exterior materials will assist in making both the existing and new structures consistent with each other as well as what is required in the Code.

The majority of the subject property is currently made up of outdoor storage. While the property is relatively secluded in back of the railroad tracks, outdoor storage is visible from County Road 81. About one year ago, the City passed Section 153.054 of the Zoning Code Ordinance stating: *All material and equipment shall be stored within a building or fully screened so as to not be visible from adjoining properties. Any such screening method, whether a physical structure or landscaping, shall reduce visibility in a manner that restricts vision of the object being screened. Physical structures, such as fences, shall be constructed in a style that is architecturally compatible with the primary structure.*



The development proposes the entire southern half of the development to be screened from public view. The proposed fence is to be made of chain link with colored slits to make it opaque.

Regarding the Variance requests, the project appears to meet all of the setback requirements as per Section 153.039 (D) in the Zoning code with the exception of the side-yard setback of “Building 2”. The building is currently 2.1 feet from the major northern property line and therefore is a non-conforming structure as the required setback is 10 feet. A variance to the ordinance is also required because the applicant is proposing to build the 30’x 40’ addition maintaining the 2.1 feet setback and in order to expand a non-conforming building.

The City’s discretion in approving or denying a variance is limited to whether or not the proposed project meets the seven (7) variance standards listed in the Zoning Ordinance. The applicant must also have a hardship in complying with the existing provisions. However, the level of discretion is affected by the fact that some of these standards are open to interpretation.

The applicant’s intention is to expand the building and approve its appearance. The property line where the setback encroachment exists abuts a cemetery where there is a significant line of trees that act as a natural buffer. The applicant has also indicated that at the time “Building 2” was constructed, there was no side yard setback requirement in the Manufacturing District.

Dahl stated that the third part of the request is the Comprehensive Plan Amendment. The applicant wishes to amend the City’s recently adopted 2030 Comprehensive Plan. All of the current uses on site are industrial in nature. While the uses are permitted in the Manufacturing Zoning District, the subject property is guided as Office in the 2030 Land Use Plan. As such, it is expected that the zoning would change to more of an office use, in order to better reflect the land use, once the ordinance is revised later this year.

The applicant is requesting to change the current land use designation from Office to Light Industrial. The applicant has indicated that due to the poor access, limited visibility, and neighboring uses, the minor comprehensive plan amendment to Light Office is warranted.

“Office” Land Use, per the 2030 Comprehensive Plan is defined as:

*This land use category represents multi-story office and service employment areas. Office-showroom and research-development services could also fit within this category. Development might include limited retail, but not large generators of retail traffic. Office buildings with two (2) stories or greater in height and a high quality architectural design will be encouraged.*

“Light Industrial” is defined as:

*This land use category represents light industrial activity areas, such as light manufacturing, assembly, processing, research facilities, warehousing, storage, and distribution with limited outside storage and good access to county and state highways. Light Industrial buildings may be one level with mezzanine space and truck loading facilities.*

If the City approves the Comprehensive Plan Amendment, staff will fill out a minor amendment application form to the Metropolitan Council for their review. Staff must copy the application to Osseo’s neighboring communities and jurisdictions for their comments as well.

Dahl said the staff has been working with the applicant for the past couple of months in coming up with a redevelopment plan that accomplishes their goals while at the same time, meeting the City requirements. There are many non-conforming issues with the existing property. While the City should encourage improvements to the property, it is important that all the improvements meet today’s city



standards. In reviewing the proposal, staff has divided up the property into two portions. The northern half is where improvements will be made and should meet current city standards. The southern half is not proposed to be improved and will have to meet the city standards when it is redeveloped in the future.

In summary, regarding the major issues with the proposed Site Plan of the improved portion of the property:

- Parking meets the requirements.
- Trash enclosures are not shown on plan and this is a requirement per City Code. Met with the applicant today and will be submitting a revised plan with trash enclosure.
- Landscaping is not significant on the plan as this is an industrial site and not much is required. The landscaping that is being added is a vast improvement and will help beautify the property.
- Based on the comments from the City Engineer and Public Services Director, there appears to be some issues with the drawings and where the existing utilities go and some of the calculations with the storm drainage and the swale. As a result of the meeting today, the applicant stated they will supply whatever is needed.
- Staff did have an issue with the elevations, especially the areas where the metal would be left alone, especially in the more visible areas because in the code is stated that metal facades are not allowed. After talking with the applicant today, whatever the outcome and color scheme is, they will be sure it all blends in. Dahl stated conditions can be added mandating the portions of less visible sides.
- Staff has informed the applicant that all the outside storage must be completely screened. Detailed specifications should be finalized before the City Council approval.

Dahl stated after talking with the applicant today, there really isn't that much room to have the new area meet the setback, especially with the swale and goal of making that building look brand new and not have an old part of the building in plain view versus the new. The question is whether the applicant should be granted a variance to build the addition 2.1 feet off of the side property line as well or should have to adhere to the ten (10) foot side yard setback. Based on the way the code was stated before, how the building was built and the space in order to expand the building, there isn't much to work with. The buffer and fact that the use is a cemetery, it isn't really impacting negatively upon its neighbor. Dahl would like the Planning Commission to look at this closely. If both of the variances are granted they must meet the seven (7) standards listed in the ordinance.

Staff believes that based on the argument about access, visibility, and the surrounding neighboring areas to the south and west, it is appropriate that the property be changed from Office to Light Industrial, similar to what the land use was before the 2030 Comprehensive Plan Update was approved. While the Comp Plan is supposed to be a fluid document, staff feels this amendment is somewhat of an anomaly and doesn't anticipate many further amendments.

Dahl stated there are four (4) items to act upon. Chair Hanson thanked Dahl for the organized information and presentation.

Dahl was asked if there were any comments received from neighboring business. He stated only positive comments in that this will be an improvement and will benefit the neighboring properties. Clarke reiterated that the needs to be sure that this doesn't set a precedent to use metal on the buildings. Code simply states not to construct a metal building, not that it couldn't be used as siding. Chair Hanson reminded the Commission that this is an existing building, not a new structure.

Chair Hanson referenced some comments from the Public Service Director, Randy regarding access for storm water cleaning at the catch basins and manhole structures. Dahl replied that the Public



Services Director had indicated that he thought some of the proposed landscaping was to be located in the easements. If determined to be, the applicant will relocate.

Dahl stated he would like feedback on Condition #12 – regarding the metal façade. After today's meeting and discussion options, they could paint over. Chair Hanson asked if the rock-face block is similar to what the Zimmerman Brothers have done. Dahl stated it is also the same as Lynde's.

Cochran questioned Condition #16 and asked for clarification. Dahl stated the condition should read "The 48 inch concrete fence on the northeast corner of the property shall be removed entirely. This amendment shall be shown on updated plans prior to Council approval;"

Dahl also referenced Condition #13. This issue is with the northern portion of this property. Before the Bennett property was added, there was a small narrow piece of property that was used for access on to Broadway St. W.---the survey shows that this portion was never properly dedicated over to the City. It is showing as private property, however it needs to be depicted as public right-of-way. Hennepin County Parcel Information shows that it as right-of-way. Staff is still working to determine the actual status. Condition #13 was added just in case it is found to be private property versus public right-of-way and that it needs to be deeded over to the City.

Larsen Sinouthasy asked if it is normal for an applicant to ask for a change to the Comprehensive Plan and wonders if this will set a precedence. Dahl stated this does happen in other communities.

Dahl stated we are in an interim period where the zoning currently reflects the old plan so this would be a good time to amend the Comprehensive Plan. Once the Zoning Code is revised it would reflect the new Comprehensive Plan. This would have to go the Met Council and is only a minor revision.

Howard Hornibrook, applicant, stated that if we, the property owners, are going to put the money into building something that is going to work for the current businesses, we want to make sure the businesses will be able to thrive. We do not want to put part of a million dollars into doing something that in 10 years we find we would like to expand, but we cannot because it is no longer conforming.

**A motion was made by Cochran, seconded by Clarke, to close the Public Hearing. The motion carried 7-0.**

Dahl stated there are three (3) items to act on: the Site Plan, Variances, and Comprehensive Plan Amendment.

**A motion was made by Cochran, seconded by Hansen, to recommend approval of the Site Plan application by Ryan Company to the Council with the full list of 20 conditions listed below.**

- 1. The approved final landscaping plan shall be fully executed prior to issuance of certification of occupancy;**
- 2. The applicant shall submit a landscaping bond worth 100% of the value of the landscaping project and be kept with the City for one year after installations;**
- 3. The applicant shall pay all necessary park dedication fees and SAC fees prior to issuance of the building permit;**
- 4. Due to the environmental issues on the former Bennett Property, the applicant shall submit a report from an environmental engineer based on the history of the parcel and confirm that any outstanding environmental issues shall be undertaken and addressed in accordance with county, state, and federal regulations prior to issuance of building permit;**
- 5. All HVAC and other ground or rooftop mechanical equipment shall be hidden from view with materials that match materials and color used on the building;**



6. The applicant obtain all necessary building and sign permits and pay all fees related to the proposed development;
7. The applicant shall construct trash enclosures if trash is stored outdoors. The design and its location shall be reviewed and approved by City staff;
8. The applicant shall satisfy all comments and concerns from the City Engineer's memo dated July 9, 2009 prior to Council approval;
9. The applicant shall satisfy all comments and concerns from the Public Services Director's email dated July 13, 2009 prior to Council approval;
10. An accurate materials board shall be submitted to staff prior to Council approval;
11. Fence materials shall be reviewed and approved by staff prior to issuance of building permit;
12. The existing metal buildings shall be remodeled with EFIS or new metal siding as described per plans dated June 18, 2009 with the exception of the west side of Building 1 and the north and west side of Building 2, and concrete block as an exterior material shall be molded, serrated, or treated with a texture material in order to give the wall surface a three-dimensional character with the exception of the west side of Building 1 new construction. These amendments shall be shown on updated plans prior to Council approval;
13. Any private property (or part of) that is currently being used as a public road shall be deeded or otherwise dedicated to the City prior to the issuance of the building permit. This amendment shall be shown on updated plans prior to Council approval;
14. All outdoor storage shall be screened and hidden from public view;
15. Additional concrete curb shall be added to within the parking lot in order to separate parking stalls from drive lanes. This amendment shall be shown on updated plans prior to Council approval;
16. The 48-inch concrete fence on the northeast corner of the property shall be removed entirely. This amendment shall be shown on updated plans prior to Council approval;
17. Lighting that is visible from public right-of-way shall be shielded and downward directed;
18. Demolition of existing accessory shall require proper permits from local and state government levels;
19. Weeds and other vegetation shall be maintained at all times in accordance with Chapter 93.38 of the City Code;
20. The applicant shall submit revised plans at least a week prior to the Council meeting indicating all the applicable amendments to the plans.

**The motion carried 7-0.**

A motion was made by Chair Hanson, seconded by Cochran, that the Variance Request regarding "Building #2" for the expansion of a non-conforming and a Side-Yard Setback Variance for the building expansion area be approved, because:

- The property presents unique challenges and hardships to the owners would result if they were not granted variances;
- The requests are not based exclusively on a desire to increase the value of the property;
- The hardship and difficulties have not been caused by the owners;
- There is no detriment to the public welfare or injury to other land owners, or to the surrounding properties;
- It will not impair adequate light and air to the adjacent properties; and
- Adherence to this ordinance would create undue hardship.

**The motion carried 7 – 0.**



**A motion was made by RJ Wiley, seconded by Hansen, to recommend approval of the Comprehensive Plan Amendment Request by Ryan Company from “Office” to “Light Industrial” in order to redevelop its property at 108 Broadway St. W. The motion carried 7-0.**

Dahl stated the next step will be for the applicant to submit modified plans showing the changes based on the conditions of approval, prior to consideration by the City Council.





# Report to Planning Commission

## City of Osseo

Planning Commission Meeting of: July 20, 2009

Subject: Site Plan/Variance/Comprehensive Plan Amendment Request

**Request:** Applicant Michael Ryan of Ryan Company has submitted a site plan application, request for a side yard setback variance, variance to expand a non-conforming use, and a Comprehensive Plan Amendment in order to redevelop its property at 108 Broadway St. West (PIDs 13-119-22-41-0029 and 13-119-22-41-0005). The redevelopment proposes for the remodel and expansion of two existing buildings and construction of an additional building for a total increase of 11,260 sq. ft. In addition, the redevelopment request is proposing landscaping and parking lot improvements. The property is under the ownership of Michael Ryan and Howard Hornibrook, is zoned M, Manufacturing and Industrial and is guided as Office in the Land Use Plan.

Three sides of the property are surrounded by the Manufacturing Zoning District in Osseo. The west side of the property is adjacent to manufacturing-zoned land in the City of Maple Grove. Approximately 500 feet to the north, across County Road 81, is the Central Business District Zoning District.

Some of the existing uses adjacent to the property include the railroad, office, and office warehouse to the north, cemetery and industrial to the west, industrial to the south, and retail shopping center to the east.

**Background:** On October 27, 2008, the City Council approved a lot split and combination with 108 Broadway St. W. and part of the former 100 Broadway St. W. (formerly known as the Bennett Property). The lot combination is still in progress with Hennepin County. Combining the lots allows the applicant adequate room for a new access onto their property. With this new access, they are proposing to improve their existing property. The existing property entails the following businesses: Ryan Company, a construction company; Redwood Signs, a sign manufacturer; Affordable Sanitation, a portable bathroom distributor; and Fairfax Asphalt, a paving company. The uniquely shaped property is 3.48 acres and currently contains three buildings and a cellular phone tower adjacent to the cemetery at the northwest corner of the property. The southern portion of the property is used as outdoor storage for the aforementioned businesses.

**Site Plan:** In summary, the site plan proposes to: remodel and expand "Building 1" (currently 6,000 sq. ft.) with 9,100 sq. ft. of additional office and warehouse space; remodel and expand "Building 2" (currently 1,984 sq. ft.) with an additional 1,200 sq. ft. of office and warehouse space; and construct a small warehouse of 960 sq. ft.

#### Parking/Access

Per 153.079, 35 spaces are required. See table below. The site plan shows 39 total parking spaces on site.

Use	Square Footage	Ratio per Ordinance	Required Stalls
Office	2,887	1/250 sq. ft.	12
Manufacturing	5,743	1/500 sq. ft.	12
Warehouse	10,614	1/1000 sq. ft.	11
Total	19,244	N/A	35



---

**Site Plan (cont.):** The applicant has improved the parking and ingress/egress areas to meet code per 153.078. The property has just one access; on the far north end off of Broadway St. W. Vehicular traffic is able to enter the property, park adjacent to one of the three buildings, turn around, and exit the property with ease. Because of the nature of the businesses, the applicant has designed the parking area to allow a semi-truck to accomplish a 360-degree turn.

#### Landscaping

Per Section 153.057 (A)(B)(3), the Manufacturing Zoning District requires one tree per 1,000 sq. ft. of building area. As such, 20 trees are required for the redevelopment project. A tree inventory of the site revealed that there were 23 significant trees on the site already. Although no additional trees are needed per code, the landscaping plan indicates adding four (4) additional trees (2-Blue Spruces and 2-Red Maples) in order to create a more pleasing entrance to the property.

The applicant has added small plantings or shrubs along the front of all of the buildings as well as a few plantings near the entrance into the property.

While there is no minimum green space requirement for properties in the Manufacturing Zoning District, the redevelopment proposes approximately 14% green space.

#### Storm Drainage

The applicant is proposing to drain the majority of the improved area to an approximately two (2) foot deep swale that would run parallel with the entryway into the development. The swale would be over a public easement in which a storm sewer runs through. The applicant proposes to use the existing catch basin into the main (public) storm sewer line in case the swale was to overflow with storm runoff. The applicant is not proposing any additional storm drainage improvements to the outside storage area on the southern half of the property.

#### Utilities

There is a utility easement for the storm sewer, water main, and sanitary sewer that run through the property parallel to the railroad tracks. The applicant is proposing to add one new water connection to the main line for service to the addition of "Building 1." The applicant is proposing to make a new connection from the existing private line to the addition of "Building 1." The applicant is proposing to maintain the existing sewer and water connections of "Building 2." The applicant is proposing a new water connection from the new private line into "Building 3." However, the applicant is not proposing to add a new sanitary sewer connection to "Building 3."

#### Exterior Materials

The existing structures are currently entirely made of metal, which is not allowed per 153.053 (F). The applicant is proposing to remodel the existing office areas with EIFS and the existing warehouse/manufacturing space in the existing buildings with a new metal siding. The new office area added to "Building 1" and "Building 2" are proposed to be made of EIFS and the new warehouse/manufacturing areas for all of the buildings are proposed to be made out of rock-face and scored block. Overall, the goal of the new exterior materials will assist in making both the existing and new structures consistent with each other as well as meeting what is required in the Code.

#### Fencing/Outdoor Storage

The majority of the subject property is currently made up of outdoor storage. While the property is relatively secluded in back of the railroad tracks, outdoor storage is visible from County Road 81. Section 153.054 of the Zoning Code states:

*All material and equipment shall be stored within a building or fully screened so as to not be visible from adjoining properties. Any such screening method, whether a physical structure or landscaping, shall reduce visibility in a manner that restricts vision of the object being screened. Physical structures, such as fences, shall be constructed in a style that is architecturally compatible with the primary structure.*

---



---

**Site Plan (cont.):** While the proposed redevelopment project includes major aesthetic improvements (building, landscaping, parking, etc.), the southern half (approx.) of the property will mostly remain as is and be utilized for outside storage. The plan includes an opaque fencing that runs through the parking lot (w/gates for access). The opaque fence would serve as a screen to the outside storage area.

Lighting

The site plan shows "wall pack" lighting on "Building 2" and "Building 3." These two lights do not face public right-of-way or neighboring property. No other lighting details have been submitted.

Sign Plan

The applicant has indicated that there would be no new signage with the redevelopment. The applicant understands that any additional signage would have to go through the standard City permitting process.

Trash Enclosure

Trash enclosures are not shown on the Site Plan.

---

**Variance:** The project appears to meet all of the setback requirements as per Section 153.030 (D).



---

**Staff Findings:** Staff has been working with the applicant for the past couple of months in coming up with a redevelopment plan that accomplishes their goals while at the same time meeting the City requirements. There are many non-conforming issues with the existing property. While the City should encourage any improvements to the property, it is important that all the improvements meet today's city standards. In reviewing this proposal, staff has broken up the property in half. The northern half is where improvements will be made and should meet current city standards. The southern half is not proposed to be improved and will have to meet city standards when it is redeveloped in the future.

#### Site Plan

Regarding the major issues with the proposed site plan of the improved portion of the property:

- Staff is comfortable the number of parking stalls although the parking lot should be revised in order to add curb bump outs to protect stalls from drive aisles. Adding these bump outs may take out a few parking stalls.



---

**Staff Findings (cont.):**

- Trash enclosures are not shown on the plan. As trash is rarely stored inside, trash enclosures that meet the City Code should be shown on a revised Site Plan.
- Not much landscaping is a part of this plan. But, the landscaping plans do not indicate any tree removal. Because there are many trees already on site adjacent to the cemetery, the little landscaping the applicant is proposing is above and beyond what is required per ordinance. This area is probably the most visible from County Road 81 so the ability to maintain a pleasant appearance is important.
- Based on the comments from the City Engineer and Public Services Director (See Attachments 4 and 5), there appears to be some issues with storm drainage and the swale. While the staff is encouraged that the applicant is proposing to contain all the storm water runoff of the improved area within the site, the landscaping plan needs to be amended (trees need to be relocated) in order for the utility easement to maintain its accessibility.
- Staff believes that based on the elevations, the aesthetic appearance of the proposed redevelopment will be a significant improvement over the existing buildings. However, staff wishes to see more detailed specifications and examples (materials board) of the materials to be used---especially concerning the concrete block and metal siding. The materials and their locations need to be determined prior to Council approval. Also, all sides of the buildings should be improved, not just the sides that are visible from the parking lot.
- Staff has informed the applicant that all the outside storage must be completely screened. The fence that the applicant has proposed to build to keep the area out of view from public right-of-way, needs to be opaque, of high quality, and made from materials consistent with the buildings. While it appears the proposed fence meets code, detailed fence specifications should be finalized before City Council approval. Perhaps an eight (8) foot fence is more appropriate. Also, the Fire and Police Departments should have access to the outdoor storage yard.
- The addition and location of exterior lighting needs to be submitted to the City staff prior to Council approval. Lighting needs to be shielded and downward directed.
- The property survey indicates that a sliver of land runs up to the centerline of Broadway St. W. County property tax records show this sliver as right-of-way. Staff has asked the surveyor and the applicant about this issue and has not received an answer as to what records are correct. If the property really does protrude out on to Broadway St. W, then the plans need to show that this little section is dedicated to the City as right-of-way.

It is strongly recommended that if the Planning Commission concurs with the staff findings, it should base its approval on very specific conditions of approval. These conditions of approval should be met prior to consideration by the City Council.



---

**Action Alternatives---Site Plan:** After hearing public comments, there are four (4) options when taking the Site Plan Application into consideration:

- A. Recommend approval of the Site Plan Application by Ryan Company in order to redevelop property at 108 Broadway St. W., subject to the following conditions of approval;
  - 1. The approved final landscaping plan shall be fully executed prior to issuance of certification of occupancy;
  - 2. The applicant shall submit a landscaping bond worth 100% of the value of the landscaping project and be kept with the City for one year after installations;
  - 3. The applicant shall pay all necessary park dedication fees and SAC fees prior to issuance of the building permit;
  - 4. Due to the environmental issues on the former Bennett Property, the applicant shall submit a report from an environmental engineer based on the history of the parcel and confirm that any outstanding environmental issues shall be undertaken and addressed in accordance with county, state, and federal regulations prior to issuance of building permit;
  - 5. All HVAC and other ground or rooftop mechanical equipment shall be hidden from view with materials that match materials and color used on the building;
  - 6. The applicant obtain all necessary building and sign permits and pay all fees related to the proposed development;
  - 7. The applicant shall construct trash enclosures if trash is stored outdoors. The design and its location shall be reviewed and approved by City staff;
  - 8. The applicant shall satisfy all comments and concerns from the City Engineer's memo dated July 9, 2009 prior to Council approval;
  - 9. The applicant shall satisfy all comments and concerns from the Public Services Director's Email dated July 13, 2009 prior to Council approval;
  - 10. An accurate materials board shall be submitted to staff prior to Council approval;
  - 11. Fence materials shall be reviewed and approved by staff prior to issuance of building permit;
  - 12. All sides of the existing metal buildings shall be remodeled with EFIS or new metal siding as described per plans dated June 18, 2009 and concrete block as an exterior material shall be molded, serrated, or treated with a textured material in order to give the wall surface a three-dimensional character. These amendments shall be shown on updated plans prior to Council approval;



---

**Action Alternatives---Site Plan(cont.):**

13. Any private property (or part of) that is currently being used as a public road shall be deeded or otherwise dedicated to the City prior to the issuance of the building permit. This amendment shall be shown on updated plans prior to Council approval;
  14. All outdoor storage shall be screened and hidden from public view;
  15. Additional concrete curb shall be added to within the parking lot in order to separate parking stalls from drive lanes. This amendment shall be shown on updated plans prior to Council approval;
  16. The 48' concrete fence shall be on the northeast corner of the property shall be removed entirely. This amendment shall be shown on updated plans prior to Council approval;
  17. Lighting that is visible from public right-of-way shall be shielded and downward directed;
  18. Demolition of existing accessory shall require proper permits from local and state government levels;
  19. Weeds and other vegetation shall be maintained at all times in accordance with Chapter 93.38 of the City Code;
  20. The applicant shall submit revised plans at least a week prior to the Council meeting indicating all the applicable amendments to the plans.
- B. Recommend approval of the Site Plan Application to the Council with amended conditions of approval;
- C. Recommend denial of the Site Plan Application to the Council; or
- D. Table action on the Site Plan Application to the August 17, 2009 Planning Commission meeting in order to consider additional information.



---

**Procedural Directions:** A motion will be needed to open and then close the public hearing. Once action is ready to be taken, a motion will be needed to take action on one of each of the three items.

---

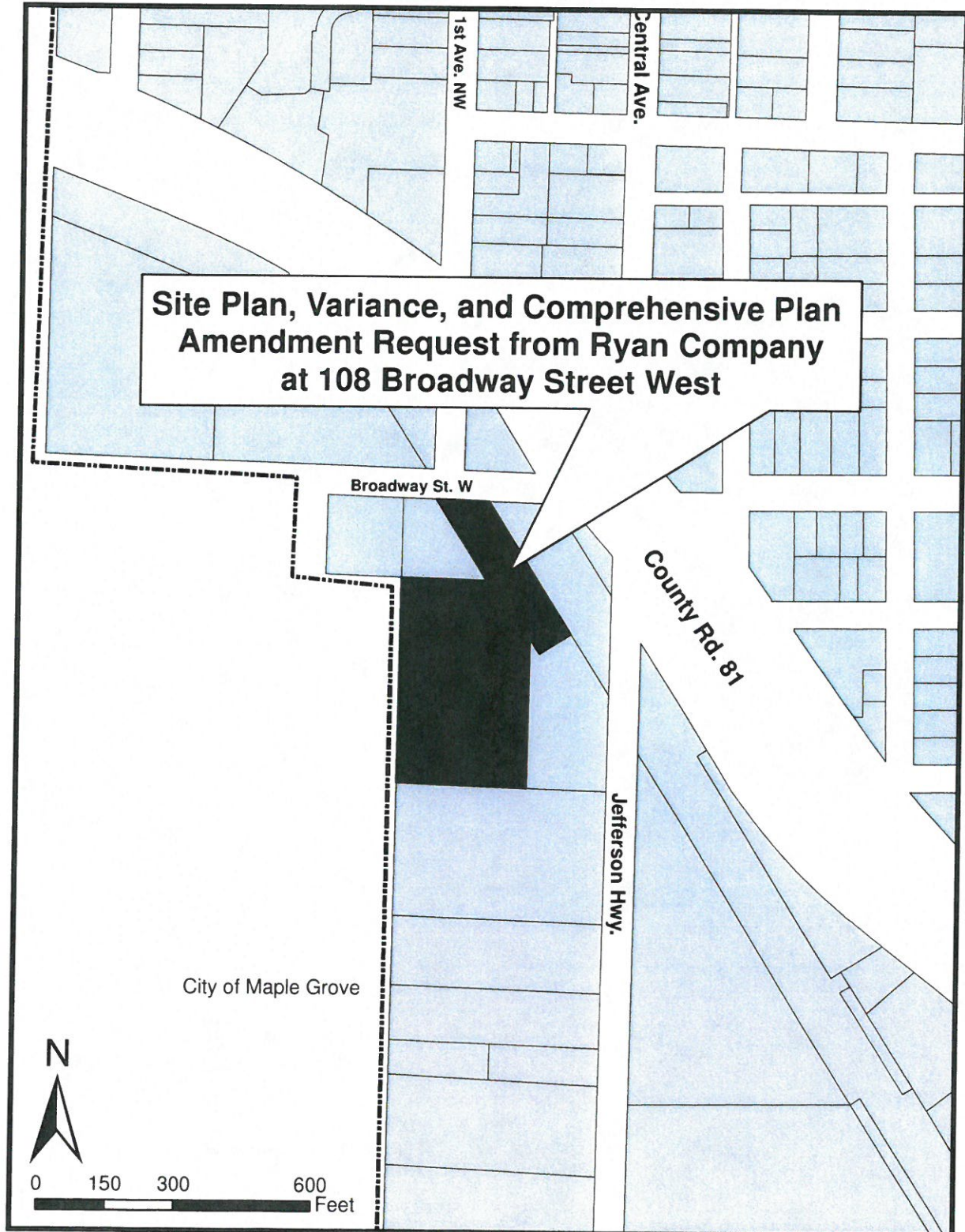
**Attachments:**

1. Location Map, Undated
2. Aerial View of Site, Undated
3. Photos, Dated July 14, 2009
4. Comments from City Engineer, Dated July 9, 2009
5. Email from Public Services Director, Dated July 13, 2009
6. Email from Fire Chief, Dated July 13, 2009
7. Site Plan Narrative, June 19, 2009
8. Variance Narrative, June 19, 2009
9. Comprehensive Plan Amendment Narrative, June 19, 2009
10. Development Packet,
  - A. Site Plan, Dated June 18, 2009
  - B. Property Survey, Dated May 6, 2009
  - C. Landscaping Plan, Undated
  - D. Drainage and Grading Plan, Dated June 10, 2009
  - E. Storm Drainage Analysis, Dated June 18, 2009
  - F. Erosion Control Plan, Dated June 18, 2009
  - G. Utilities Plan, Dated June 18, 2009
  - H. Building 1 Floor Plan, Dated June 18, 2009
  - I. Building 1 Elevations, Dated June 18, 2009
  - J. Buildings 2/3 Elevations and Floor Plan, Dated June 18, 2009
  - K. Color Renderings, Dated June 18, 2009
  - L. Example of Metal Siding, Undated

---

*Jeffrey Dahl, City Planner*













Looking to the west



Looking to the Northwest



"Building 1" + "Building 2"



Looking to the east





# BOLTON & MENK, INC.

Consulting Engineers & Surveyors

12224 Nicollet Avenue • Burnsville, MN 55337

Phone (952) 890-0509 • Fax (952) 890-8065

www.bolton-menk.com

## MEMORANDUM

**Date:** July 9, 2009  
**To:** Jeffrey Dahl, Osseo City Planner  
**Cc:** Marcus Thomas, P.E., Osseo City Engineer  
**From:** Sarah Rippke, P.E.  
**Subject:** Redevelopment Plans for 108 Broadway Street W.  
Ryan Company

We have received and reviewed a copy of Ryan Company's submittal to the City of Osseo for the above-referenced project. Our comments regarding the submittal are as follows:

### General Comments

1. The final submittal for the Drainage, Site Utility and Grading Plans shall be prepared and signed by a registered Professional Engineer.
2. A storm water pollution prevention plan (SWPPP) should be included in the plans.
3. Typical sections for the proposed parking lot and driveway pavement should be included in the plans.

### Site Development (6/18/09)

1. It appears there are two handicap parking stalls, one near the addition to Building 1 and the second near the addition to Building 2, handicap access aisles need to be provided and noted on the plan.
2. Annotate driving lane width between parking stalls adjacent to Building 3 and the proposed addition to Building 1.

### Property Survey (dated 5/6/09)

1. The existing utilities (sanitary sewer and watermain) should be illustrated on the survey.

### Site Drainage Grading (6/10/09)

1. There are spot elevations shown on the Site Drainage Grading. It appears that these are existing spot elevations. Proposed spot elevations should be included to fully understand the site drainage characteristics.
2. It is not clear how the driveway area will drain – not enough information provided.



## Jeffrey Dahl

---

**From:** Randy Korfiatis  
**Sent:** Monday, July 13, 2009 2:22 PM  
**To:** Jeffrey Dahl  
**Subject:** RE: 108 Broadway St. W---Ryan Development

Jeff,

After reviewing the plans for 108 Broadway Street West, my concerns would be trees and shrubs within the easement.

We also need to have access for storm sewer cleaning at catch basins, and manhole structures. (Drive up)

Thanks,

Randy Korfiatis

---

**From:** Jeffrey Dahl  
**Sent:** Monday, July 13, 2009 10:22 AM  
**To:** Mark Lynde - MSN; Randy Korfiatis  
**Subject:** 108 Broadway St. W---Ryan Development

Hi Guys, I need your comments by noon. Thanks.

Jeffrey J. Dahl, City Planner

City of Osseo

415 Central Avenue

Osseo, MN 55369

763.425.1454

[jdahl@ci.osseo.mn.us](mailto:jdahl@ci.osseo.mn.us)



Jeff Dahl

Fr MARK LYNDE [kmlynde@msn.com]

S Monday, July 13, 2009 10:34 AM

Jeffrey Dahl

Subject: FW: Ryan Development

Jeff -

I talked with hugh, and also looked at plan. From a fire stand point everything looks good. A little tight in some area's but nothing to mention. We would be happy to have the development.

Mark Lynde

Osseo Fire Chief

763-425-5254 Office 612-328-7669 Mobile

"Make It Happen!" 😊

Subject: RE: Ryan Development

Date: Fri, 10 Jul 2009 14:58:31 -0500

From: Hugh.Heidt@brooklynpark.org

To: kmlynde@msn.com

From a quick overview standpoint, way in and out look fine. Parking lot looks to be OK , but just barely.

BP requires:

minimum inside turning radius of 28 feet,

minimum outside turning radius of 45 feet,

unobstructed height of 13' 6".

From a fire standpoint I guess you need to be satisfied that you can get your first truck in, turned around and out of the lot.

Hope this helps!

Hugh Heidt

From: MARK LYNDE [mailto:kmlynde@msn.com]

Sent: Fri 7/10/2009 12:29 PM

To: Hugh Heidt

Subject: FW: Ryan Development

Hugh

See attached for any opinion

Mark Lynde

Lynde Enterprises, Inc.

201 County Road 81

Osseo, MN 55369

763-425-5254 Office 612-328-7669 Mobile

"Make It Happen!"

7/13/2009



**CITY OF OSSEO**

415 Central Avenue, Osseo, MN 55369

Phone (763) 425-2624

Fax (763) 425-1111

**Application for:  
Site and Building Plan****Property Information:**Address 108 Broadway Street WestProperty identification number 13-119-22-41-0005Legal description: Lot \_\_\_\_\_, Block \_\_\_\_\_, Tract/Addition See Site Plat

Property Type: Abstract \_\_\_\_\_ or Torrens No. \_\_\_\_\_ Location \_\_\_\_\_

Description of request Relocate existing building #3 and add additional office and warehouse to buildings #1 and #2.Reason for request Develop site, provide larger facility for our business and improve site / building appearance.**Applicant information:**Name Michael Ryan Address 108 Broadway Street WestOsseo, MN 55369 Daytime phone 763-424-6444

*Applicant must provide 15 copies of the exhibit. Also, applicant agrees to reimburse the City of all legal and/or engineering costs incurred by the City.*

*If request is granted, applicant agrees to proceed with the actual construction in accordance with the plans herewith submitted within six months from date of filing this application; will complete the work within one (1) year from said date; and is able from a financial, legal, and physical basis to do so.*

Signature and date June 19, 2009**Property owner information:**Name Hornibrook/Ryan LLC Address 108 Broadway Street WestOsseo, MN 55369 Daytime phone 763-424-6444Signature and date June 19, 2009



**CITY OF OSSEO**

415 Central Avenue, Osseo, MN 55369

Phone 763.425.2624

Fax 763.425.1111

**Variance Application**

☐ Residential

☒ Commercial/Industrial

☐ Signs

**Property Information:** (15 copies of site plan/drawings/survey required for submittal)

Address 108 Broadway Street West

Property identification number 13-119-22-41-0005

Legal description: Lot \_\_\_\_\_, Block \_\_\_\_\_, Tract/Addition See Site Plat

Property Type: Abstract \_\_\_\_\_ or Torrens No. \_\_\_\_\_ Location \_\_\_\_\_

Current zoning Industrial Square footage/acreage 147,400 SF

Reason for variance—list the undue hardships of your request We want to add an office on the east end of our north building and improve the appearance. The building is set back 2.1 feet from the north property line and we want to line up with the existing building. Note: There was no set back required during original construction.

**Applicant information:**

Name Michael Ryan Address 108 Broadway Street West

Osseo, MN 55369 Daytime phone 763-424-6444

*Applicant agrees to reimburse the City of all legal and/or engineering costs incurred by the City.*

Signature and date \_\_\_\_\_ June 19, 2009

**Property owner information:**

Name Hornibrook/Ryan LLC Address 108 Broadway Street West

Osseo, MN 55369 Daytime phone 763-424-6444

Signature and date \_\_\_\_\_

\*\*\*\*\*



**CITY OF OSSEO**

415 Central Avenue, Osseo, MN 55369

Phone 763.425.2624

Fax 763.425.1111

**Application for:****Comprehensive Plan Amendment****Property Information:**Address 108 Broadway Street WestProperty identification number 13-119-22-41-0005Legal description: Lot \_\_\_\_\_, Block \_\_\_\_\_, Tract/Addition See Site Plat

Property Type: Abstract \_\_\_\_\_ or Torrens No. \_\_\_\_\_ Location \_\_\_\_\_

Current Designation Industrial Square footage/acreage 147,400 SFRequested Designation Industrial Reason for Change No Change Wanted

We have had our industrial and manufacturing business on this site since 1986. As we expand our business facilities, we need the industrial designation to remain for the future. The limited access to this site is mainly thru Maple Grove and makes any other use impractical. The adjoining properties in Maple Grove and Osseo are manufacturing related.

**Applicant information:**Name Michael Ryan Address 108 Broadway Street WestOsseo, MN 55369 Daytime phone 763-424-6444

Signature and date \_\_\_\_\_ June 19, 2009

**Owner information:**Name Hornibrook/Ryan LLC Address 108 Broadway Street WestOsseo, MN 55369 Daytime phone 763-424-6444

Signature and date \_\_\_\_\_ June 19, 2009

\*\*\*\*\*



## § 153.057 LANDSCAPING.

### (A) *Purpose and objectives.*

(1) The primary purpose of this section is to establish minimum requirements and standards relative to landscaping, buffering, and screening to be implemented concurrently with site plans approved by the city. The standards and criteria shall be used by city staff and the Planning Commission in the review and evaluation of those plans and development proposals.

(2) The objectives of these requirements are to establish and maintain forestation of the city; to provide appropriate ground cover vegetation for controlled soil erosion; to enhance, when necessary, the natural environment, particularly in instances where the natural environment is disturbed during the course of development; and to establish standards for utilization of natural materials to achieve desired screening and buffering.

(B) *Minimum standards.* This section sets forth minimum requirements of landscaping and limitations to assure that the result is consistent with reasonable maintenance requirements on a long-term basis and to assure that the results provide an aesthetic urban environment.

...

### (3) *M, manufacturing and industrial district.*

(a) One tree per 1,000 square feet of gross building floor area.

...

### (5) *Landscape requirements applicable to all districts.*

(a) Unless otherwise directed by the city, all plantings shall be placed on the private property on which the development is taking place.

(b) Landscape screening exceeding 30 inches in height as measured from the top side of the curb is not permitted within 15 feet of any street or alley.

(c) All areas not otherwise improved in accordance with approved site plans or subdivisions shall be sodded and maintained.

(d) The owner shall provide the city with cash, corporate surety bond, approved letter of credit, or other surety satisfactory to the city to guarantee the proper installation and growth of the approved landscape plan. The performance bond shall be furnished by the developer prior to obtaining a building permit that is equal to the amount of the required landscaping to be installed. The performance bond shall be held by the city and must cover one full calendar year subsequent to the installation of the landscaping and must be conditioned upon complete and satisfactory implementation of the approved landscape plan.

### (6) *Minimum size of plantings.*

(a) Unless otherwise specified herein with respect to specific zoning districts, required trees shall be of the following minimum planting size:

1. Deciduous trees: two and one-half inches in diameter as measured six inches above ground;
2. Coniferous trees: four feet in height; and
3. Major shrub or berm plantings: five gallons.



(b) Evergreen shrubs used for screening purposes, including those used in conjunction with berming, shall be a minimum of 24 inches in height.

(7) *Species.*

(a) All trees used in site developments shall be indigenous to the appropriate hardiness zone and physical characteristics of the site.

(b) All deciduous trees proposed to satisfy the minimum requirements of this policy shall be long-lived hardwood species.

(c) The complement of trees fulfilling the requirements of this policy shall not be less than 25% deciduous and not less than 33% coniferous.

(8) *Prohibited species.* The following species are prohibited and shall not be used toward meeting the requirements of this chapter.









<i>Genus</i>	<i>Species</i>	<i>Common Name</i>
Acer	Megundo	Boxelder
Gingko	Biloba	Gingko
Populus	Deltoides	Eastern cottonwood
Populus	Nigra Italica	Lombardy poplar







(1997 Code, § 25.08) (Ord. passed 11-14-1994) [Penalty, see § 10.99](#)



**9116 34th avenue north  
minneapolis, minnesota  
55427  
763 545-1072**



EXISTING PLANTING -			
SYMBOL	COMMON NAME	SYMBOL SHOWN ON PLAN IS SMALLER THAN CROWN OF TREE	
IDENT		SIZE/PLANTING	
 BW	BASSWOOD	N-1 S-2	2", 12" & 18"
 BE	BOXELDER	N-6 S-16	3" - 7 1/2" AS IDENTIFIED
 JB	JUNEBERRY	S-4	6" CLUSTER OF 4
 AE deciduous	AMERICAN ELM	S-1	9"
 BS	BLUE SPRUCE		
 SP	SCOTCH PINE		
 NP conifer	NORWAY PINE		
 LC	LILAC CLUSTER	2	

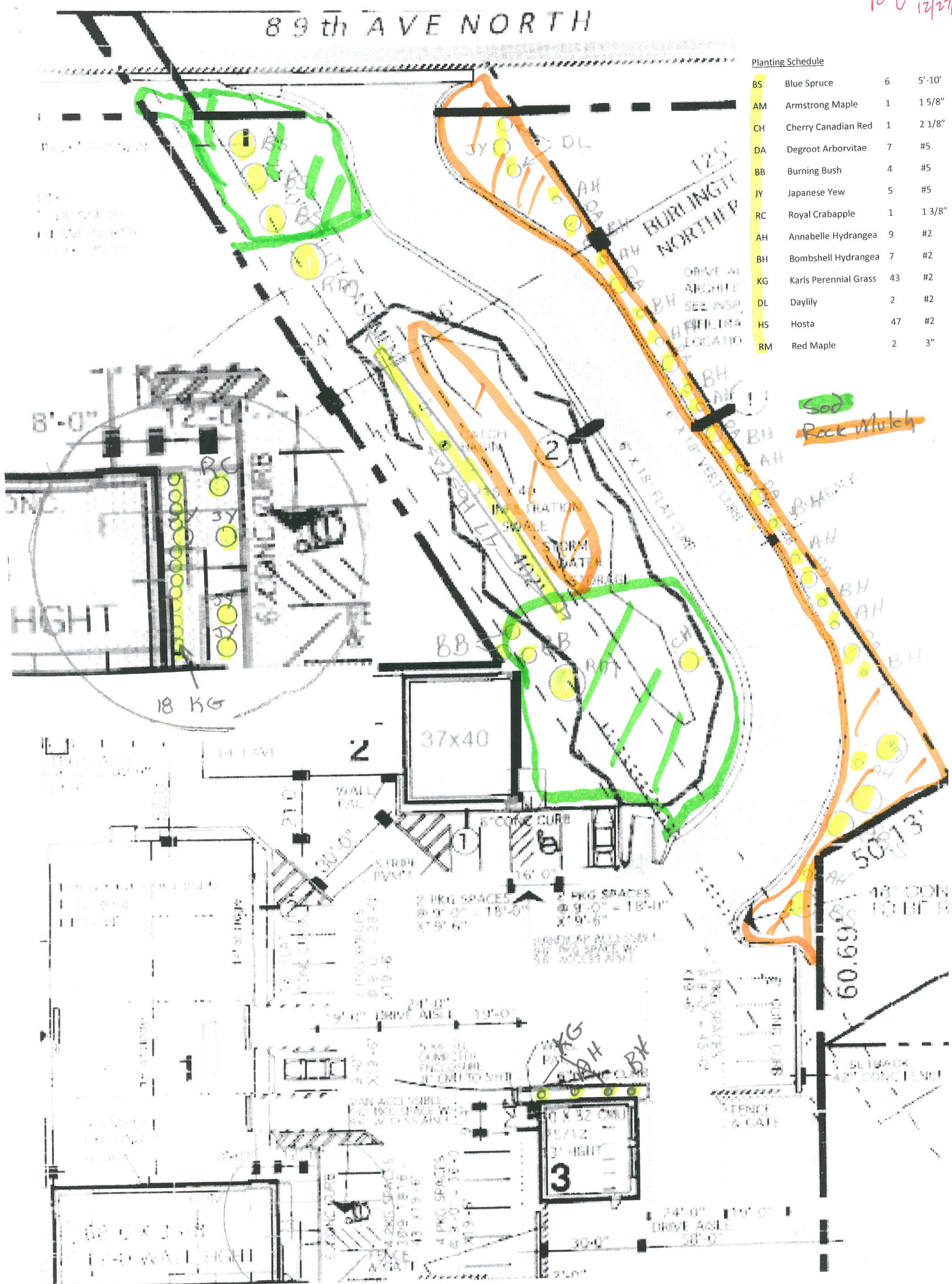
PLANTING SCHEDULE - 2009 CONSTRUCTION			
SYMBOL	IDENT	COMMON NAME	SIZE/PLANTING
	RM	RED MAPLE	2 2 1/2" TRUNK DIA AT 6" ABOVE GROUND
	BS	BLUE SPRUCE	2 4' HEIGHT
	JU	JUNIPER	6 5 GAL POT\$
	DM	DWARF AMUR MAPLE	6
	WE	WINGED EUONYMUS	7
	YP	YELLOW POTENTILLA	3
shrubby			
other		ROCK MULCH, AROUND PLANTING NEXT TO BLDGS SEED ON TOPSOIL	
		SOD ON 5' SETBACK, EAST SIDE OF DRIVE ENTRY, TURN INTO SITE AND WEST OF DRIVE IN INFILTRATION AREA.	

**Ryan Company**  
108 Broadway St. West  
Osseo, Minnesota

## SITE LANDSCAPING



12/27/17







# BOTTINEAU COMMUNITY WORKS: FROM COMMUNITY VISION TO REALITY

## HELP PLAN FOR LIGHT RAIL TRANSIT IN YOUR COMMUNITY

Hennepin County is partnering with the cities of Golden Valley, Robbinsdale, Crystal, and Brooklyn Park on two initiatives to plan for future improvements and opportunities related to the METRO Blue Line Extension (Bottineau LRT) corridor. Partners are working with the communities to:

- Identify mobility connectivity improvements around stations, including sidewalks, trails, and more
- Explore economic development opportunities and updates to zoning policies

## JOIN US AT THE COMMUNITY WORKSHOP TO:

- Learn more about project goals and how they support the long-range visions for development near stations created by communities during previous planning phases
- Inform plans to improve zoning codes and bicycle, pedestrian and shared ride connections for the 1/2 mile area around each planned LRT station

## COMMUNITY WORKSHOPS NEAR YOU!

### Robbinsdale

Thursday, March 15, 7-9 p.m.  
Robbinsdale City Hall  
4100 Lakeview Ave N, Robbinsdale, MN

### Brooklyn Park

Part of Think Again Brooklyns meeting

Tuesday, March 20, 6-8 p.m.  
Brooklyn Park City Hall  
5200 85th Ave N, Brooklyn Park, MN

### Golden Valley

Wednesday, March 28, 6-8 p.m.  
Unity Minneapolis  
4000 Golden Valley Rd, Golden Valley, MN

### Brooklyn Park

Thursday, April 5, 6-8 p.m.  
Brooklyn Park Library  
8500 W. Broadway Ave N, Brooklyn Park, MN

### Crystal

Date & Time TBD  
Location TBD

## FOR MORE INFORMATION



Elise Durbin  
Hennepin County  
Project Manager  
(612) 348-4191  
[elise.durbin@hennepin.us](mailto:elise.durbin@hennepin.us)



Faith Xiong  
Stakeholder Engagement  
Coordinator  
(612) 968-1140  
[fxiong@zanassoc.com](mailto:fxiong@zanassoc.com)



**Visit the project website:**  
[hennepin.us/bottineau](http://hennepin.us/bottineau)

Hennepin County muaj neeg txhais lus pub dawb yog tias xav tau.  
Degmada Hennepin County waxay bixisaa adeeg turjubaan oo bilaash ah marka la codsado.  
El condado de Hennepin ofrece servicios gratuitos de intérprete al pedido.

